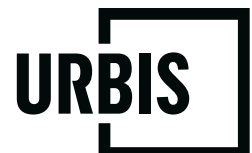




LANDCOM WENTWORTH POINT MIXED-USE DEVELOPMENT CONCEPT SSDA

Engagement Outcomes Report

Prepared for
LANDCOM
29 October 2024



URBIS STAFF RESPONSIBLE FOR THIS REPORT WERE:

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Report Number FINAL



Acknowledgement of Country

Urbis acknowledges the Traditional Custodians of the lands we operate on.

We recognise that First Nations sovereignty was never ceded and respect First Nations peoples continuing connection to these lands, waterways and ecosystems for over 60,000 years.

We pay our respects to First Nations Elders, past and present.

The river is the symbol of the Dreaming and the journey of life. The circles and lines represent people meeting and connections across time and space. When we are working in different places, we can still be connected and work towards the same goal.

Title: Sacred River Dreaming
Artist Hayley Pigram
Darug Nation
Sydney, NSW

All information supplied to Urbis in order to conduct this research has been treated in the strictest confidence. It shall only be used in this context and shall not be made available to third parties without client authorisation. Confidential information has been stored securely and data provided by respondents, as well as their identity, has been treated in the strictest confidence and all assurance given to respondents have been and shall be fulfilled.

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1. INTRODUCTION

This Engagement Outcomes Report (Report) has been prepared by Urbis Ltd (Urbis) to support Landcom's proposal for a Concept State Significant Development Application (SSDA) for a mixed-use development (the proposal) located at 9 Burroway Road, Wentworth Point. The Concept SSDA seeks to amend a masterplan that was approved by the Sydney Central City Planning Panel in 2014.

An Engagement Strategy was prepared in line with the NSW Department of Planning, Housing and Infrastructure's (DPHI's) *Undertaking Engagement Guidelines for State Significant Projects* and the International Association of Public Participation's (IAP2) Public Participation Spectrum.

The activities outlined in the strategy sought to deliver an appropriate and relevant engagement process and provide opportunities for the community and stakeholders to:

- Learn about the proposal
- Understand the planning process, and
- Provide feedback that will inform part of the SSDA lodgement.

This report summarises the engagement approach delivered and outcomes of the engagement activities.

1.1. PROJECT CONTEXT

The Wentworth Point precinct refers to a site located at 9 Burroway Road, Wentworth Point, in the Parramatta Local Government Area.

The site was rezoned in mid-2014, allowing for the development of a precinct masterplan including a 3.9ha peninsula park, a new access road, a primary school, and mixed-use development (retail, commercial and residential). Landcom is leading the planning and delivery of the open space and mixed-use development on behalf of the NSW Government. The mixed-use development is a key component of the precinct, helping the NSW Government to deliver much-needed homes.

In late 2018, Landcom began construction at the precinct, with early works finishing in mid-2020.

In late 2020, the NSW Government announced that a new high school would be included as part of the masterplan. Wentworth Point High School is located next to the existing Wentworth Point Public School, which opened in 2018. School Infrastructure NSW (SINSW) is managing the planning and delivery of the new high school, which is expected to open to Year 7 in 2025. The high school is located on land previously approved for mixed-use development and parkland.

Since 2022, Landcom has been working with landowner Transport for NSW (TfNSW) to update planning controls to reduce the size and footprint of the mixed-use development. This change will accommodate the new high school and four hectares of open space. The open space will include a playground, fitness equipment, sheltered picnic areas, a waterfront walkway (promenade), public art, an amenities building and shared open space with the new high school for community use outside of school hours – a sustainable way to optimise land use as the city grows.

In October 2022, Landcom lodged a Section 4.55 Modification Application with City of Parramatta Council (Council), which was approved by the Sydney Central Planning Panel on 3 May 2024. This consent enables major construction of the peninsula park and shared open space to move forward, progressing from onsite remediation and initial earthworks completed in 2023 and the saltmarsh restoration completed in 2024.

To support delivery of the mixed-use development, Landcom has prepared a Concept SSDA which seeks approval of a concept design for a mixed-use development (as shown in Figure 1 on the next page).

Figure 1 Location of proposed mixed-use development and peninsula park



Source: SJB, *Urban Design Report: 9 Burroway Road, Wentworth Point 2024*

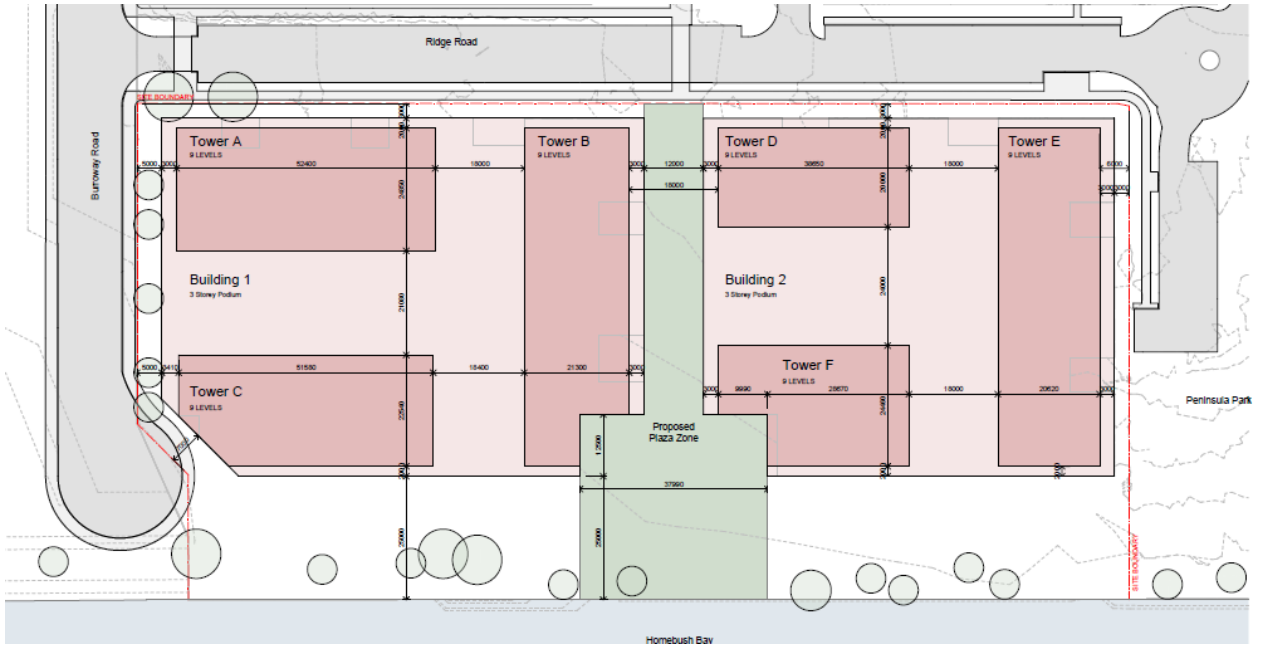
1.1.1. About the State Significant Development Application

Landcom is seeking approval of a concept design for a 42,800 sqm mixed-use development, including 15% affordable housing. Specifically, the Concept SSDA is seeking approval for:

- A new mixed-use development, comprising approximately 2,500 sqm of ground floor retail and 412 residential apartments across two buildings
- Three levels of above-ground car parking for 504 vehicles
- A maximum building height of up to nine storeys (reduced from 27 storeys) and built form parameters including street frontage heights and setbacks
- A new retail plaza
- A new proposed shared zone connecting Burroway Road and the future access road, commonly referred to as Ridge Road
- A publicly accessible foreshore promenade along Homebush Bay, connecting the future peninsula park with Burroway Road.

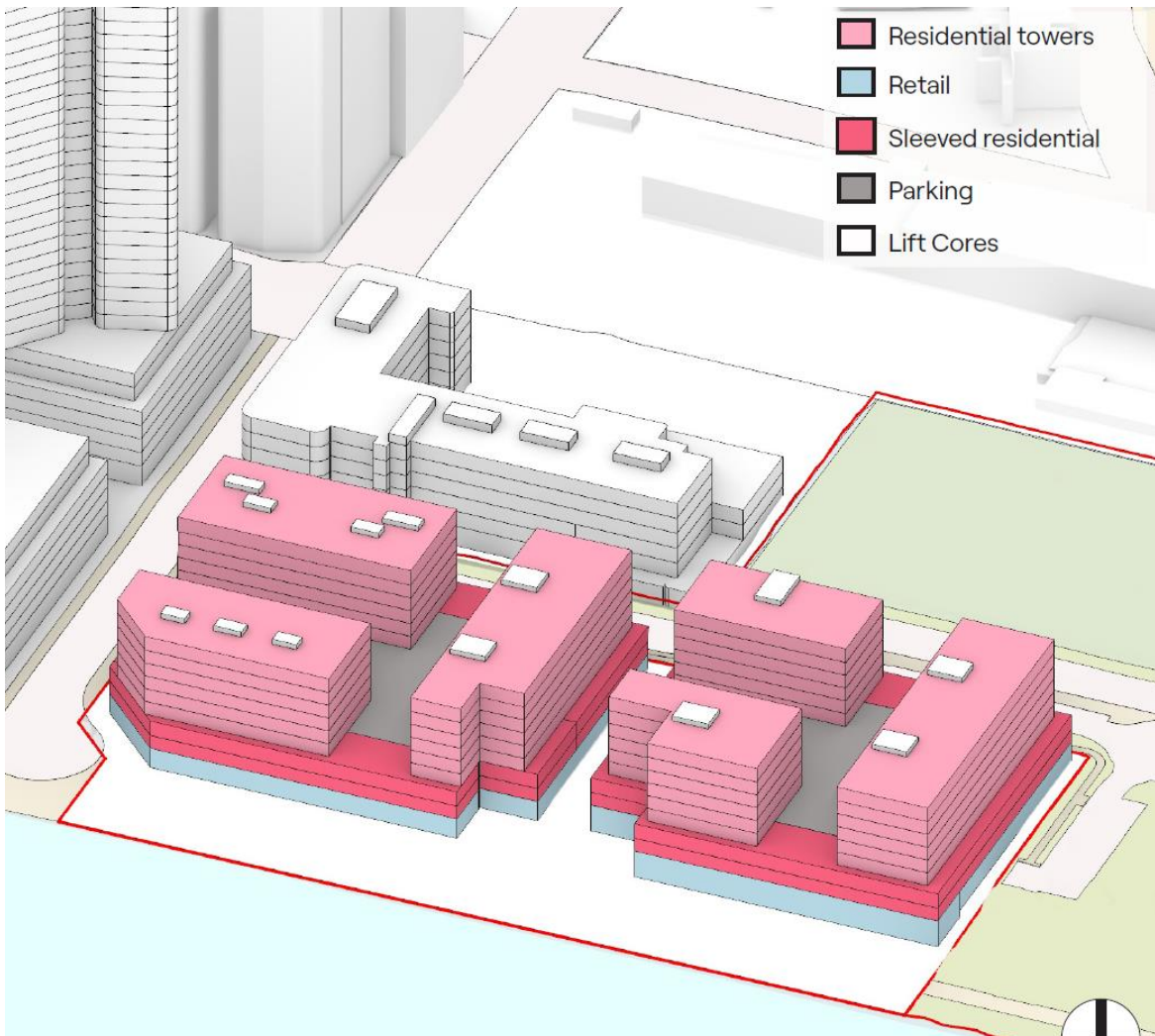
Refer to Figure 2 below for the concept setback plan and Figure 3 for the concept massing diagram.

Figure 2 Concept setback plan



Source: SJB, *Urban Design Report: 9 Burroway Road, Wentworth Point 2024*

Figure 3 Concept massing diagram



Source: SJB, *Urban Design Report: 9 Burroway Road, Wentworth Point 2024*

1.2. RESPONSE TO SEARS

This Report forms part of the Environmental Impact Statement (EIS) for the proposal.

Table 1 outlines the Secretary's Environmental Assessment Requirements (SEARs) for the proposal that relate to engagement. It also outlines how the proposal has responded to each requirement.

Table 1 Response to SEARs - SSD-72816207

SEARs item	Project response
Engagement	
<p>During the preparation of the EIS, you must consult with the relevant local, State or Australian Government authorities, service providers, community groups and affected landowners. In particular, you must consult with:</p> <ul style="list-style-type: none"> ▪ The relevant Department assessment team ▪ Parramatta City Council ▪ The Department of Education ▪ Environment Protection Authority ▪ The community and neighbouring properties ▪ if the development would have required an approval or authorisation under another Act but for the application of s4.41 of the EP&A Act or requires an approval or authorisation under another Act to be applied consistently by s4.42 of the EP&A Act, the agency relevant to that approval or authorisation. <p>The EIS must detail the engagement undertaken and demonstrate how it was consistent with the <i>Undertaking Engagement Guidelines for State Significant Projects</i>. The EIS must detail how issues raised and feedback provided have been considered and responded to in the project.</p>	<p>In accordance with DPHI expectations for early and effective engagement for state-significant projects, an engagement strategy was prepared to guide implementation of an engagement approach that is consistent with DPHI's <i>Undertaking Engagement Guide: Guidance for State Significant Projects</i>.</p> <p>Landcom's approach aimed to connect with the relevant local and state government authorities, relevant agencies and community stakeholders.</p> <p>Refer to Section 2 of this document for a detailed overview of the approach.</p>

2. COMMUNITY AND STAKEHOLDER ENGAGEMENT STRATEGY

The engagement approach was adapted from the International Association of Public Participation's (IAP2) Public Participation spectrum (Figure 4) and *Join In*, Landcom's engagement framework and related principles (Figure 5). The IAP2 spectrum describes goals for public participation and the corresponding promise to the public. For the proposal, the engagement objective aligned with the goal of informing and consulting with stakeholders and the community. This means our objective was to obtain public feedback on the proposal.

Figure 4 IAP2 Public Participation Spectrum

	INFORM	CONSULT	INVOLVE	COLLABORATE	EMPOWER
GOAL	To provide the public with balanced and objective information to assist them in understanding the problem, alternatives, opportunities and/or solutions	To obtain public feedback on analysis alternatives and/or decisions	To work directly with the public throughout the process to ensure that public concerns and aspirations are consistently understood and considered.	To partner with the public in each aspect of the decision including the development of alternatives and the identification of the preferred solution.	To place final decision-making in the hands of the public.
PROMISE	We will keep you informed.	We will keep you informed, listen to and acknowledge concerns and aspirations, and provide feedback on how public input influenced the decision.	We will work with you to ensure that your concerns and aspirations are directly reflected in the alternatives developed and provide feedback on how public input influenced the decision.	We will look to you for advice and innovation in formulating solutions and incorporate your advice and recommendations into the decisions to the maximum extent possible.	We will implement what you decide.

Source: IAP2

Figure 5 Landcom's Join in engagement principles

					
We aim to be:	Collaborative	Purposeful	Proactive	Accountable	Inclusive
This means:	Working with stakeholders with an interest in delivering positive project outcomes	Planning and resourcing engagement to support project delivery	Engaging stakeholders early and throughout project planning and delivery and making it easy for them to participate	Being clear about the purpose of engagement, level of influence and how the influence has shaped recommendations and decisions	Engaging stakeholders with different needs and interests

The stakeholder and community engagement process for the proposal aimed to:

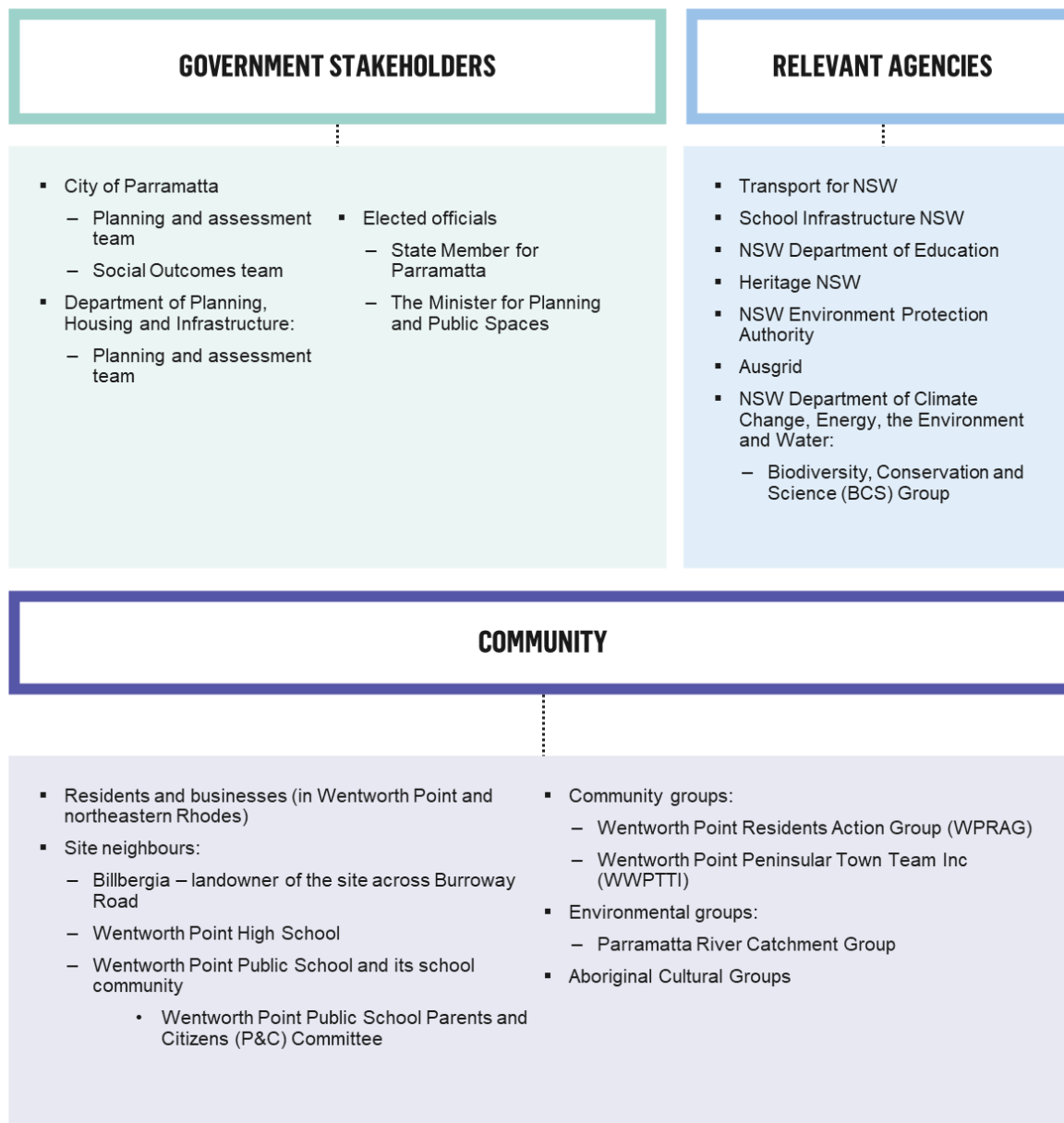
- Maintain clear, consistent and simple messaging about the project (including its benefits and potential impacts), and the planning pathway to build community and key stakeholder understanding of the proposal and how to provide feedback
- Coordinate with other NSW Government stakeholders and organisations (including TfNSW and SINSW) to promote whole-of-precinct messages about planning for Wentworth Point
- Provide timely information to support planning milestones, highlighting opportunities for feedback and input, and details of how and when outcomes of feedback would be shared
- Maintain communication channels to enable the public to ask questions and share feedback.

2.1. STAKEHOLDERS

Section 2.1 below outlines the stakeholders that are included in the SEARs: specifically, City of Parramatta Council, DPHI, relevant agencies, community and representative/interest groups. Stakeholders have been separated into three categories, as shown in the figure below.

To ensure a consistent approach to this consultation, the stakeholders identified for this SSDA aligned with those previously consulted about plans for the Wentworth Point precinct.

Figure 6 Stakeholder categorisation



2.1.1. Government authorities

Landcom and Urbis were responsible for engagement with Government stakeholders.

As identified in the SEARs, engagement was required with the relevant local council and with the relevant Department assessment team. For this proposal, this included:

- City of Parramatta Council's planning and assessment team, and Social Outcomes team
- DPHI's planning and assessment team.

Elected officials

Government stakeholders also included relevant Local and State elected officials:

- The State Member for Parramatta
- The Minister for Planning and Public Spaces.

2.1.2. Relevant agencies

Landcom and its appointed technical consultants were responsible for engagement with relevant agencies.

Given the site's proximity to the future Wentworth Point High School, SINSW and the NSW Department of Education were included in this category.

As the landowner and project partner for this SSDA, TfNSW was included in this category.

Landcom has been in ongoing consultation with TfNSW and SINSW through the planning process. This includes regular project team liaison, and communication and engagement coordination meetings hosted by Landcom and attended by communication leads from TfNSW and SINSW to discuss project updates and communication planning.

As required by the SEARs, other agencies included in this category were:

- The Department of Climate Change, Energy, the Environment and Water (DCCEEW)
- Ausgrid
- NSW Environment Protection Authority
- Heritage NSW.

2.1.3. Community stakeholders

Landcom and Urbis were responsible for engagement with the community.

As described in DPHI's *Undertaking Engagement Guidelines for State Significant Projects*, the community is anyone (individuals, groups of individuals or organisations) interested in or likely to be affected by the project. For this project, community stakeholders included:

- Local residents and businesses in Wentworth Point and northeastern Rhodes
- Site neighbours including Billbergia, who owns the land to the immediate south of the site, Wentworth Point High School (due to open in 2025), and Wentworth Point Public School and its broader school community, including the P&C Committee.
- Community groups including the Wentworth Point Residents Action Group (WPRAG) and Wentworth Point Peninsular Town Team Inc (WPPTTI)
- Environmental groups such as Parramatta River Catchment Group.

For community stakeholders, potential impacts and/or areas of interest were identified as:

- Confusion about the need to update mixed-use plans
- Potential view and privacy impacts for the Wentworth Point High School
- General concern about development on the Wentworth Point peninsula
- General concern about the capacity and/or delivery of infrastructure such as public transport and public open space to support development on the Wentworth Point peninsula.

Figure 7 Catchment of residents and businesses around the mixed-use site



2.1.3.1. Aboriginal Cultural Groups

Landcom's appointed consultant Kelleher was responsible for engagement with Aboriginal Cultural Groups that operate in, or have a connection to, Wentworth Point to inform the Aboriginal Cultural Heritage Assessment Report (ACHAR) for the proposal.

The findings of this engagement are documented in the ACHAR. The Aboriginal Cultural Groups engaged include:

- A1 Indigenous Services
- BCS Group
- Didge Ngunawal Clan
- Long Gully Cultural Services
- Muragadi Heritage Indigenous Corporation.

3. ENGAGEMENT ACTIVITIES

This section outlines the activities that were implemented during the engagement process.

Consistent with DPHI's *Undertaking Engagement Guidelines for State Significant Projects*, the approach to engagement was proportionate to the scale and impact of the project. Engagement activities for the community and other key project stakeholders are outlined below.

3.1. ENGAGEMENT ACTIVITY TYPES

Engagement activities throughout the consultation process included:



**BRIEFINGS WITH SIX
KEY STAKE-
HOLDER
GROUPS**



**E-NEWSLETTER
SENT TO 423
PEOPLE**



**POSTCARD DISTRIBUTED
TO 8445
RESIDENTS AND
BUSINESSES
SURROUNDING THE SITE**



**CONSULTATION WEBSITE
ACCESSED BY 895
PEOPLE**



**SOCIAL IMPACT
SURVEY RESPONSES
RECEIVED BY 168
PEOPLE**






**DROP-IN
COMMUNITY
INFORMATION
SESSION
ATTENDED BY
MORE THAN
27 PEOPLE**





**0 EMAILS AND 2
PHONE CALLS
RECEIVED FROM THE
COMMUNITY**

Table 2 Engagement activities

Engagement activities	Target stakeholder	Reach
<p>STAKEHOLDER MEETINGS</p> 	<p>Community and special interest groups</p> <p>Relevant agencies</p> <p>Government authorities</p>	<p>Urbis facilitated online project briefings with representatives from six key project stakeholder groups:</p> <ul style="list-style-type: none"> ▪ City of Parramatta Council ▪ Wentworth Point High School ▪ Wentworth Point Public School ▪ The NSW Department of Education ▪ SINSW ▪ The Parramatta River Catchment Group <p>Other groups who were offered an individual, online briefing included:</p> <ul style="list-style-type: none"> ▪ Wentworth Point Residents Action Group ▪ Wentworth Point Peninsular Town Team Progress Group ▪ Wentworth Point Public School Parents & Citizens (P&C) Committee
<p>E-NEWSLETTER</p> 	<p>All stakeholders</p>	<p>On Wednesday 21 August 2024, an e-newsletter was distributed to 423 people subscribed to receive email updates about the Wentworth Point project. The e-newsletter was opened by 292 subscribers (an open rate of 69%).</p> <p>The e-newsletter invited the community to complete the online survey to inform the Social Impact Assessment for the project or to attend a drop-in information session on Saturday 31 August 2024 to ask questions and share feedback in person. It also provided updates about recent works to restore saltmarsh habitat and upcoming construction of the peninsula park.</p>
<p>COMMUNITY POSTCARD</p> 	<p>All community stakeholders</p>	<p>On Thursday 22 August 2024, a postcard was distributed to 8,445 residents and businesses in Wentworth Point and the northeastern part of Rhodes, across Homebush Bay from the project site (see Figure 7 for catchment).</p> <p>The postcard invited the community to complete the online survey to inform the Social Impact Assessment for the project, to attend a drop-in information session on Saturday 31 August 2024 to ask questions and</p>

Engagement activities	Target stakeholder	Reach
		share feedback in person, or to provide their feedback through the project enquiry lines.
<p>CONSULTATION WEBSITE</p> 	All stakeholders	<p>Between Wednesday 21 August 2024 and Wednesday 11 September 2024 (the online survey period), Landcom's <i>Join In</i> consultation webpage was viewed 1,239 times by 895 unique visitors.</p> <p>The webpage provided information about the proposal, including detail about the project background and design considerations, with details of how to share feedback through the online survey or drop-in information session. Information was available in four languages other than English that are most widely spoken in Wentworth Point: Mandarin, Cantonese, Korean and Arabic. The webpage will be maintained by Landcom with up to date information about the proposal.</p> <p>The webpage URL is: https://www.joinin.landcom.nsw.gov.au/wentworthpoint</p>
<p>PROJECT WEBPAGE</p> 	All stakeholders	<p>Between Wednesday 21 August 2024 and Wednesday 11 September 2024 (the online survey period), the Wentworth Point project webpage on Landcom's was viewed 376 times by 296 unique visitors.</p> <p>The webpage provided information about the proposal and how to share feedback through the online survey or at the drop-in information session. It will be maintained by Landcom with up to date information about the proposal, as well as updates about other activity related to the broader Wentworth Point project, such as delivery of the peninsula park.</p> <p>The webpage URL is: https://landcom.com.au/wentworthpoint</p>
<p>SOCIAL IMPACT SURVEY</p> 	All community stakeholders	<p>Between Wednesday 21 August and Wednesday 11 September 2024, Urbis collected feedback from the community and other stakeholders through an online survey, the findings of which have informed the Social Impact Assessment for the project. The survey was accessible through Landcom's <i>Join In</i> consultation webpage.</p> <p>A summary of the feedback received can be found in Section 4.1 below.</p>

Engagement activities	Target stakeholder	Reach
<p>DROP-IN INFORMATION SESSION</p> 	<p>All community stakeholders</p>	<p>A drop-in information session was held at Wentworth Point Community Centre and Library on Saturday 31 August 2024, from 10:30am to 12:30pm.</p> <p>A total of 27 community members attended the session to learn about the proposal, ask questions and provide feedback.</p>
<p>ENQUIRY MANAGEMENT</p> 	<p>All stakeholders</p>	<p>Through the consultation period, two phone calls were received from members of the surrounding community.</p>

4. OVERVIEW OF KEY ISSUES RAISED – COMMUNITY STAKEHOLDERS

4.1. SOCIAL IMPACT SURVEY

Between 21 August and 11 September 2024, Urbis received 168 responses to Landcom’s Wentworth Point Social Impact Survey. This included 117 completed survey responses and 51 incomplete responses (i.e. one or more questions were skipped). A summary of feedback received is provided below, with detailed findings available in the Social Impact Assessment.

Key feedback themes include:

- Concern about overdevelopment on the Wentworth Point peninsula
- Concern that existing infrastructure will not have capacity to service the incoming population
- Support for the inclusion of more public space for residents to shop, dine, socialise and play
- Frustration about the delays in completing the peninsula park.

What is valued about Wentworth Point

When asked what they most like or value about living in Wentworth Point or surrounding suburbs, survey respondents expressed their appreciation of the waterfront setting in Wentworth Point. Respondents also expressed that they value the lifestyle in Wentworth Point, which is linked to its walkability, access to open space, and proximity to the Parramatta and Sydney CBDs.

When asked what they least like about living in Wentworth Point or surrounding suburbs, respondents noted that they felt that the suburb is being overdeveloped. Respondents also felt that the existing infrastructure cannot service the expected population growth associated with the proposal.

Potential impacts (positive or negative)

When asked about how they may be impacted by the proposal (either positively or negatively), respondents generally felt that they would be negatively impacted. Reasons given include:

- Inadequate capacity of existing infrastructure to service the incoming population that will use and/or live in the proposal. This includes concern about potential impacts on the availability of street parking and traffic generation, the availability of open space, and access to community facilities.
- Cumulative impacts of multiple developments and overdevelopment on the Wentworth Point peninsula
- Concern that the inclusion of affordable housing in Landcom’s proposal will change the character of the area
- Concern about the inclusion of more retail space in the proposal.

For those who felt there would be positive impacts, respondents focused on the provision of more public space for residents to shop, dine, socialise and play, particularly along the promenade.

When asked whether the peninsula park will improve the provision of parks and open space in Wentworth Point, over half of survey respondents stated that it would improve provision “a lot”.

There was also some concern about the removal of the dry boat shed as well as the marina/boating facilities.

Suggestions to enhance or minimise potential impacts

Several respondents made suggestions about how negative impacts could be minimised, and positive impacts enhanced.

Some respondents noted that these positive impacts could be further enhanced through the provision of adequate car parking and public transport, as well as through the design of the mixed-use buildings.

Peninsula park

Some respondents expressed their objection to the mixed-use development on the site and wanted to see the development site repurposed as additional space for the peninsula park.

Other respondents expressed frustration about delays in completing the park and were sceptical about whether the park would be completed.

Many also did not support the shared open space between the high school and the general public, and indicated that they would prefer a dedicated high school playing field.

4.2. KEY THEMES – ENGAGEMENT ACTIVITIES

Key themes of feedback that have arisen through other engagement activities include:

- Potential impacts on traffic, access, and parking
- Concern about the removal of open space
- Concern about the availability of public transport and connectivity
- Concern about the inclusion of affordable housing
- Sentiment that the Wentworth Point peninsula is being overdeveloped
- The need for more public amenities.

Traffic, access and parking

Almost all community feedback received included concern about potential traffic, access and parking impacts, particularly:

- Traffic generation and the need for extensive traffic management
- Concern that existing parking spaces cannot accommodate an increase of residents to the area, especially with the introduction of the new high school
- Congestion with one main access road in and out
- The safety of pedestrians, especially children, with the movement of trucks and future school buses.

“400 new homes plus all the other new developments will make traffic unworkable. It’s already bad.”

“Access will be an issue for the whole area.”

“I’m hoping the light rail will help alleviate the traffic problems”

Open space

Almost all community feedback raised concerns about the removal of public open space, in particular:

- Concerns that the size of the park is being reduced
- Concerns over ‘broken promises’ by proposing a mixed-use development rather than only open space
- Concerns that there isn’t enough open space to accommodate existing residents
- Inclusion of ‘plaza’ and ‘hard surface’ areas in open space.

"The kids would then have to play handball on concrete"

"We've been waiting so long for the park"

"There's not enough open space for residents"

"We were promised full open space"

Transport and connectivity

Several community members raised concerns about the increase in residents placing pressure on local transport networks, particularly:

- Existing transport options are unreliable and cannot accommodate more visitors/residents.
 - The light rail needs to be developed prior to people moving into the area
 - Existing transport options are extremely limited and crowded, with long lines and extensive wait times.
-

"There's huge lines for busses and 100s of people line up. Its normal to have to wait for 3 busses to fill up"

"My biggest concern is the lack transport. There are only two buses that come and they arrive at exactly the same time, every 30 min."

Affordable housing

A few community members raised concerns about the inclusion of affordable housing, particularly:

- Concerns that 15% of affordable housing is not enough and that it should be 30%
 - Concerns that the proposed affordable housing will be too small to accommodate families
 - Concerns that the affordable housing will change the character of the area.
-

"We need the supply of larger apartments to drive down costs"

"Proposing 1, 2-3-bedroom apartments is not big enough to accommodate families"

Overdevelopment and density

Several community members raised concerns about the area being overdeveloped which is affecting their quality of life, particularly:

- Concerns about other developments in the area, such as 'Block H'
- Concerns that the proposal will impact views and create overshadowing
- Concerns that the future landowner of the site may want to increase the building height.

“It’s not fair I won’t have a view”

“There are too many people in Wentworth”

“The 40-storey building on Burroway Road plus this, it will be too overdeveloped and crowded”

Public amenities

Many community members expressed an interest and provided suggestions for the introduction of new public amenities and retail offerings, including:

- High-quality retail offerings, rather than fast-food and convenience stores
 - New pubs and taverns
 - New amenities that cater to children, such as new play areas.
-

“We want a pub - the closest one is in Concord West or North Strathfield which involves catching a bus or public transport”

“We need high-quality retail, not just supermarkets and fast-food”

“Shops and restaurants will bring nightlife and vibrancy”

“We need better play areas for kids”

5. ISSUES RAISED

The following table outlines the issues raised by the community and stakeholders and the project response.

Table 3 Issues raised table

Stakeholder	How this group was consulted	Feedback	Project response
Government authorities			
Department of Planning, Housing and Infrastructure, including: <ul style="list-style-type: none"> Planning and assessment team 	Landcom met with DPFI's planning and assessment team on Wednesday 7 August 2024 as part of the State Design Review Panel (SDRP) process.	Feedback received from the SDRP on Friday 16 August 2024 included support for the: <ul style="list-style-type: none"> Height and scale of the building to establish a positive relationship with its surrounds, and support a high level of residential and public amenity Inclusion of 25m-wide foreshore promenade and ground-level activation through areas for retail and dining, seating and landscaping Location of the through-site link and plaza to enable visual permeability and connectivity to the foreshore; and landscaped areas along the site boundaries to accommodate street trees and active transport. Other design suggestions included: <ul style="list-style-type: none"> Integrate place-responsive design solutions in future detailed stages 	Landcom has integrated feedback received from the SDRP into the proposal design package.

Stakeholder	How this group was consulted	Feedback	Project response
		<p>through Connecting with Country principles</p> <ul style="list-style-type: none"> ▪ Ensure building facades facing the through-site link, plaza, foreshore promenade and park are not dominated by private, residential uses ▪ Provide a generous pedestrian connection between the proposed road at the northern end of the site and the foreshore promenade ▪ Review size and potential uses of the plaza to determine additional benefits or if other proposed pedestrian areas provide sufficient amenity ▪ Where possible, locate vehicle entries off Burroway Road ▪ Ensure building height sufficient to accommodate landscaped rooftop communal areas that provide good solar access and expansive views ▪ Review placement of above-podium residential floors for potential to co-locate rooftop communal space, and to maximise cross-ventilation and solar access for apartments. 	

Stakeholder	How this group was consulted	Feedback	Project response
<p>City of Parramatta Council (Council), including:</p> <ul style="list-style-type: none"> ▪ Planning and assessment team ▪ Social Outcomes team 	<p>On Thursday 15 August 2024, DPHI shared with Landcom comments received from Council in response to DPHI's invitation to comment on the request for SEARs for the proposed mixed-use development.</p>	<p>Council noted that on 10 July 2023, it resolved that the subject development site at 9 Burroway Road, Wentworth Point should be handed back to the community for playing fields, parks and sporting, recreational and community facilities. In this context, the SSDA is in direct conflict with Council's position.</p>	<p>Noted. Landcom will continue to keep the Council informed as planning for the mixed-use development progresses.</p>
		<p>Council requested that the following matters be addressed in the EIS:</p> <ul style="list-style-type: none"> ▪ How the increase in floor area can be justified in terms of its impact on existing and planned infrastructure, including transport and parking impacts ▪ Compliance with the Apartment Design Guide ▪ The capacity and functionality of the adjoining peninsula park ▪ Overland flooding and stormwater management ▪ Concept floor plans should be submitted to demonstrate the apartments are capable of compliance with the Apartment Design Guide (ADG). 	<p>Noted. Landcom has addressed the requested matters in the EIS.</p>

Stakeholder	How this group was consulted	Feedback	Project response
		<p>Planning Assessment</p> <ul style="list-style-type: none"> ▪ The proposed uplift in FSR must be carefully considered in the context of Wentworth Point, noting that there are already significant shortcomings in local infrastructure provision, particularly open space. ▪ All relevant legislation should be discussed within the application documentation. ▪ Discussion is required on the coordination of the adjoining park approval and access to the site. 	<p>Planning Assessment</p> <p>Noted. Landcom has addressed the requested matters in the EIS.</p> <p>Landcom will continue discussions with Council which relate to the adjacent peninsula park approval, construction and access.</p>
		<p>Contamination</p> <p>Council advised they found the previous Remediation Action Plan (RAP) prepared in 2015 as part of DA/875/2017 is inadequate and requested:</p> <ul style="list-style-type: none"> ▪ Justification for the adoption of the same remediation strategy for the playing field, roadways and open space ▪ Groundwater and ground gas assessment works ▪ Further investigations to ensure the entire site has been adequately tested 	<p>Contamination</p> <p>Noted. Landcom has addressed the requested matters in the EIS and has submitted an addendum RAP to Council. Landcom has engaged an auditor accredited by the NSW Environment Protection Authority to independently assess and report on environmental management requirements.</p>

Stakeholder	How this group was consulted	Feedback	Project response
		<ul style="list-style-type: none"> ▪ Inclusion of an addendum RAP to ensure adequate supporting land contamination reports ▪ The provision of a Sampling, Analytical and Quality Plan for the whole site ▪ Confirmation of the condition of the existing site capping and any perceived requirements for validation of the integrity of the existing system if they are to be maintained as a remediation solution ▪ Preparation of a Long Term Environmental Management Plan (LTEMP). 	
		<p>Urban Design</p> <p>Council noted several positive outcomes and suggested improvements to the following:</p> <ul style="list-style-type: none"> ▪ The through-site link which appears to divide the lot in two uneven blocks and does not appear to be centred with the view corridor. ▪ Built form and tower layout: 	<p>Noted. Landcom has prepared an options analysis as part of the Urban Design Report, included in the EIS, to address comments raised.</p>

Stakeholder	How this group was consulted	Feedback	Project response
		<ul style="list-style-type: none"> - The tower layout does not introduce a spatial hierarchy at podium level - Frontages of Tower C and F - The length of Tower B and E should be reduced from 68m to 64m - Buildings should be configured to avoid long edges fronting the water as per the DCP. ▪ Setbacks: <ul style="list-style-type: none"> - A design scheme should introduce a 30m setback consistent with the rest of Wentworth Point - The DCP requires the podium to be setback 3 to 5m from the future access road and 5m from Burroway Road. ▪ Separation should comply with ADG requirements. ▪ Public domain: <ul style="list-style-type: none"> - Design should consider pedestrian movement and amenity, commercial activation and safety - Residential use at the ground floor creates privacy and amenity issues for residents at the building interface facing the link - Improve public circulation around the site and access to the river foreshore. 	

Stakeholder	How this group was consulted	Feedback	Project response
		<ul style="list-style-type: none"> ▪ Council has requested additional drawings to be included within the Architectural and Urban Design Study. ▪ Council requested additional technical studies as part of the formal exhibition. 	
		<p>Parks and open space</p> <p>Council recommends that the SEARs and the proposed development address:</p> <ul style="list-style-type: none"> ▪ Impacts on the capacity and functionality of the adjoining future peninsula park. ▪ Interface with the future peninsula park and foreshore promenade (Urban Design analysis). 	<p>Noted. Landcom has addressed the requested matters in the EIS.</p>
		<p>Flooding and water management</p> <p>Council has requested the proposed development consider the following:</p> <ul style="list-style-type: none"> ▪ Response to overland flow flooding and increased rainfall intensity ▪ Probable Maximum Flood (PMF) ▪ Design to accommodate sea and bay levels 	<p>Noted. Landcom has prepared a Flood Impact Assessment as part of the EIS to address the requested matters, and has also completed extensive design work regarding overland flow and drainage solutions which has been submitted to Council.</p> <p>In March 2024, Landcom began its saltmarsh restoration program. Works completed include:</p> <ul style="list-style-type: none"> ▪ Clearing rubbish flow

Stakeholder	How this group was consulted	Feedback	Project response
		<ul style="list-style-type: none"> ▪ Impacts on flood flow and behaviour, including bay water if it traverses the land ▪ Surface stormwater management on the site and in neighbouring streets including Burroway Road and the foreshore promenade, with allowance for increased bay water levels and tailwater effects ▪ Measures to protect the bay from water-borne pollution and adversely affected flow behaviour ▪ Measures to protect and rehabilitate the foreshore. 	<ul style="list-style-type: none"> ▪ Installing erosion controls and temporary fencing ▪ Ongoing weed removal, targeting Spiny rush and other invasive species ▪ Planting more than 15,000 saltmarsh species. <p>Landcom’s environmental restoration contractor will maintain the saltmarsh with regular rubbish and weed removal until the peninsula park is finished.</p>
	<p>On 6 September 2024, Urbis’ Social Planning team held an online interview with a representative of Council’s Social Outcomes team.</p> <p>The purpose of the meeting was to understand the characteristics of the local area and understand Council’s view on the potential positive and negative impacts that will be generated by the proposal, as well as mitigation measures.</p>	<p>Affordable housing</p> <ul style="list-style-type: none"> ▪ Council expressed support for the inclusion of affordable housing, and suggested that Landcom deliver 30% affordable housing, rather than 15%. ▪ Council noted that there is support within the community for affordable housing. 	<p>Affordable Housing</p> <p>Noted. Landcom will undertake a housing needs assessment to ensure the right mix of housing types is included in the proposal.</p> <p>As a State Owned Corporation, Landcom has a responsibility to ensure that the mixed-use precinct is financially viable. Private housing and retail spaces will help fund the affordable housing and community</p>

Stakeholder	How this group was consulted	Feedback	Project response
		<p data-bbox="1066 387 1559 419">Peninsula park and public open space</p> <ul data-bbox="1066 448 1574 1390" style="list-style-type: none"> <li data-bbox="1066 448 1574 555">▪ Council expressed that the mixed-use development may overshadow the peninsula park. <li data-bbox="1066 584 1574 911">▪ Council expressed that Landcom may experience challenges in making shared open space viable. They indicated that Landcom would need to consider the student safety measures that Wentworth Point High School may implement, and whether these would restrict public access to the shared open space. <li data-bbox="1066 940 1574 1082">▪ Council noted that the peninsula park appears smaller than what was proposed under the original master plan. <li data-bbox="1066 1110 1574 1252">▪ Council expressed that Landcom should first complete the peninsula park, followed by the mixed-use development at a later stage. <li data-bbox="1066 1281 1574 1390">▪ Council noted that there is support within the community for additional social infrastructure and open spaces. 	<p data-bbox="1610 264 1973 331">components of the mixed-use proposal.</p> <p data-bbox="1610 387 2022 454">Peninsula park and public open space</p> <ul data-bbox="1610 483 2069 1423" style="list-style-type: none"> <li data-bbox="1610 483 2069 703">▪ Overshadowing analysis undertaken for the project has shown that the proposed mixed-use development will not overshadow the peninsula park. This analysis is part of the EIS. <li data-bbox="1610 732 2069 906">▪ Landcom will continue to engage with Wentworth Point High School to ensure the school's safety measures and requirements are understood and considered. <li data-bbox="1610 935 2069 1118">▪ The proposed size of four hectares for the peninsula park is consistent with what was approved in 2014 by the NSW Government. <li data-bbox="1610 1147 2069 1331">▪ Construction of the peninsula park recommenced in September 2024 and is expected to be complete by mid-2026, subject to weather and approvals. <li data-bbox="1610 1359 2069 1423">▪ The updated proposal in the EIS has a range of open spaces

Stakeholder	How this group was consulted	Feedback	Project response
		<p>Proposal design</p> <p>Council provided feedback on the design of the mixed-use development, including:</p> <ul style="list-style-type: none"> ▪ Proximity to Parramatta River will provide future residents with an attractive place to live ▪ Support for the public plaza ▪ The walkway needs to be large enough to accommodate high foot traffic ▪ A suggestion that an indoor recreational space be included at the ground level ▪ The design should enable people to socialise and interact with each other, including those from a range of household types. 	<p>including a tree-lined pedestrian path and shopping plaza, and a waterfront walkway to link Burroway Road and the peninsula park.</p> <p>Proposal design</p> <p>Landcom has designed the mixed-use development in response to feedback received through a State Design Review Panel process.</p> <p>The proposal features additional public open space, such as a tree-lined pedestrian path and shopping plaza through the site, places for people to rest and socialise, and a waterfront walkway to link Burroway Road and the peninsula park, and create spaces for people to meet, relax and exercise.</p>

Stakeholder	How this group was consulted	Feedback	Project response
<p>Elected officials selected due to the site's location include:</p> <ul style="list-style-type: none"> ▪ The State Member for Parramatta ▪ The Minister for Planning and Public Spaces 	<p>Landcom met with the State Member for Parramatta on Wednesday 21 August 2024. The purpose of the meeting was to provide an update on the proposed mixed-use development and seek feedback.</p>	<p>Height</p> <p>Support for the reduced height of the mixed-use development.</p>	<p>Height</p> <p>Noted.</p>
	<p>Landcom met with the office of the Minister for Planning and Public Spaces on Wednesday 14 August 2024. The purpose of the meeting was to provide an update on the proposed mixed-use development and share details of the engagement approach.</p>	<p>Future sale of the site</p> <p>Concern about the future sale of the mixed-use site, noting that the future landowner may seek to uplift the height of the mixed-use development through subsequent development applications.</p>	<p>Future sale of the site</p> <p>Guided by the new controls set in the Concept SSDA, the future landowner will need to submit and receive approval of a separate development application before any construction can begin. This DA will need to comply with the controls set in the Concept SSDA.</p>
	<p>Landcom met with the office of the Minister for Planning and Public Spaces on Wednesday 14 August 2024. The purpose of the meeting was to provide an update on the proposed mixed-use development and share details of the engagement approach.</p>	<p>No comments or feedback were received from the Minister for Planning and Public Spaces or their staff during this meeting.</p>	<p>Landcom will continue to keep the office of the Minister for Planning and Public Spaces informed as planning for the mixed-use development progresses.</p>
<p>Relevant stakeholders</p>			

Stakeholder	How this group was consulted	Feedback	Project response
SINSW	<p>In addition to the consultation described below, Landcom continues to engage with SINSW about the proposal via regular project coordination meetings.</p>	<p>As SINSW is delivering the Wentworth Point High School, feedback has been provided to Landcom on an ongoing basis through this forum.</p>	<p>Landcom has addressed feedback from SINSW related to the proposed mixed-use development on an ongoing basis through these forums.</p> <p>Landcom will continue to keep SINSW informed as planning for the mixed-use development progresses through its regular project coordination meetings.</p>
	<p>On Thursday 25 July 2024, Urbis and Landcom met online with the principals of Wentworth Point Public School and Wentworth Point High School; and representatives from the NSW Department of Education (Auburn Network of Schools) and School Infrastructure NSW (SINSW). The purpose of the meeting was to provide an update on the proposed mixed-use development and seek feedback, including to inform the Social Impact Assessment.</p>	<p>Retail tenancy and proximity to schools</p> <p>SINSW enquired as to the type of retail that would be included in the mixed-use development, requesting that the future site operator be mindful of the proximity of the site to the schools. SINSW provided an example that a tobacconist would not be an appropriate retail tenant.</p>	<p>Retail tenancy and proximity to schools</p> <p>The future property manager of the site would need to be mindful of their surrounds, including proximity to both the high school and primary school, to provide an appropriate mix of tenancies.</p> <p>Certain types of retailers (for example, retailers that serve alcohol or sell tobacco) are subject to strict licensing requirements and regulations that ban the advertisement and sale of these products to children.</p>

Stakeholder	How this group was consulted	Feedback	Project response
NSW Department of Education		No feedback was provided by the NSW Department of Education during this meeting.	Landcom will continue to keep the NSW Department of Education informed as planning for the mixed-use development progresses.
Heritage NSW	On Wednesday 3 July 2024, Heritage NSW responded to DPHI's invitation to comment on the request for SEARs for the proposed mixed-use development.	Heritage NSW requested that the following matters be addressed in the EIS: <ul style="list-style-type: none"> Aboriginal Cultural Heritage Assessment Report Evidence of consultation undertaken with Aboriginal parties. 	Noted. Landcom has prepared the requested assessments and has included these in the EIS.
NSW Environment Protection Authority	Landcom and its appointed technical consultants met with the NSW Environment Protection Authority on Friday 26 July 2024. The purpose of the meeting was to provide an update on the delivery of the peninsula park as well as the updated plans for the mixed-use precinct.	No feedback from the NSW Environment Protection Authority was received during this meeting.	Landcom will continue to keep the NSW Environment Protection Authority informed as the construction of the peninsula park and planning for the mixed-use development progress. Landcom meets with the NSW Environment Protection Authority periodically regarding the project.
NSW Department of Climate Change, Energy, the Environment and Water (DCCEEW), specifically the: <ul style="list-style-type: none"> Biodiversity, Conservation and Science (BCS) Group. 	On Wednesday 3 July 2024, the BCS Group responded to DPHI's invitation to comment on the request for SEARs for the proposed mixed-use development.	The BCS Group requested that the following assessments be included in the EIS. <ul style="list-style-type: none"> Biodiversity Development Assessment Report A Flood Impact and Risk Assessment 	Noted. Landcom has prepared the requested assessments and has included these in the EIS.

Stakeholder	How this group was consulted	Feedback	Project response
		<ul style="list-style-type: none"> ▪ An assessment of the proposal's impact on water and soils. 	
Ausgrid	On Monday 22 July 2024, Ausgrid responded to DPHI's invitation to comment on the request for SEARs for the proposed mixed-use development.	<p>Ausgrid requested that the following matters be addressed in the EIS:</p> <ul style="list-style-type: none"> ▪ A services and utilities impact assessment, which: <ul style="list-style-type: none"> – Assesses the capacity of existing services and utilities to service the development – Identifies any required upgrades – Assesses the impacts of the proposal on existing utility infrastructure – Identifies management measures for potential impacts. 	Noted. Landcom has prepared a Services and Utilities Impact Assessment as part of the EIS which addresses the requested matters.
Transport for NSW	On Thursday 4 July 2024, Transport for NSW responded to DPHI's invitation to comment on the request for SEARs for the proposed mixed-use development.	<p>Transport for NSW requested that the following matters be addressed in the EIS:</p> <ul style="list-style-type: none"> ▪ Daily and peak traffic movements likely to be generated by the proposal ▪ Details of the access arrangements and parking provision ▪ Details of service vehicle movements ▪ Layout of the proposed internal road network 	Noted. Landcom has addressed the requested matters in the EIS.

Stakeholder	How this group was consulted	Feedback	Project response
		<ul style="list-style-type: none"> ▪ An assessment of potential impacts on road safety and capacity of the road network ▪ Details of road upgrades, infrastructure works, or new roads or access points required for the development ▪ Measures to manage adverse traffic and transport impacts ▪ A preliminary Construction Pedestrian and Traffic Management Plan (CPTMP). 	
	<p>In addition to the consultation described above, Landcom continues to engage with TfNSW about the proposal via regular project coordination meetings.</p>	<p>As TfNSW is jointly delivering the proposed mixed-use development with Landcom, feedback has been provided to Landcom on an ongoing basis through this forum.</p>	<p>Landcom has addressed feedback from TfNSW related to the proposed mixed-use development on an ongoing basis through these forums.</p>
Community stakeholders			
<p>Local residents and businesses within an approximate 500m radius of the site</p>	<p>On Thursday 22 August 2024, a community postcard was distributed to 8,445 residents and businesses within the Wentworth Point area.</p> <p>The community postcard provided summary information about the proposal and invited the community to complete the online survey to inform the Social Impact Assessment</p>	<p>At the time of writing this report, two enquiries have been received through Urbis' enquiry phone line.</p> <p>Marina and boating facilities</p> <p>On Thursday 22 August 2024, one community member contacted Urbis through its 1800 number to enquire whether Landcom is still intending to deliver</p>	<p>Marina and boating facilities</p> <p>Landcom, together with Transport for NSW, are currently focused on constructing the peninsula park and associated infrastructure such as seawalls, roads and public access and services. The future delivery pathway of boating facilities next to the Wentworth Point project site is</p>

Stakeholder	How this group was consulted	Feedback	Project response
	<p>for the project, to attend the drop-in community information session on Saturday 31 August 2024 to ask questions and share feedback in person, or to provide their feedback through the project enquiry lines.</p>	<p>a marina and rowing shed. This community member noted that these facilities formed part of the 2014 masterplan and appear to have been removed from the SSDA.</p>	<p>being explored by the NSW Government.</p>
		<p>Community feedback</p> <p>On 10 September 2024, one community member contacted Urbis through its 1800 number to express discontent with how their feedback on the 2014 masterplan has been considered by the proposal.</p> <p>They also asked how they could provide their feedback on the proposal.</p>	<p>Community feedback</p> <p>In response to community feedback previously received, Landcom has:</p> <ul style="list-style-type: none"> ▪ Relocated the approved mixed-use development to a smaller part of the site to accommodate the new high school and still deliver around four hectares of open space ▪ Reduced the proposed maximum building heights from 27 storeys to nine storeys ▪ Reduced the number of proposed dwellings. <p>Landcom will continue to keep the community informed as planning for the proposed mixed-use development progresses, including how community feedback has informed the SSDA.</p>
		<p>Potential traffic impacts</p>	<p>Potential traffic impacts</p>

Stakeholder	How this group was consulted	Feedback	Project response
	<p>On Saturday 31 August 2024, Landcom and Urbis held a community information session at Wentworth Point Community Centre and Library. The session was attended by 27 community members.</p> <p>The information session provided attendees with the opportunity to speak with members of the project team, ask questions, view the most up-to-date information via the A0 boards, and share feedback.</p> <p>Images of this session can be found in the appendices.</p>	<p>Almost all feedback received from community members who attended the session included concern about traffic generation. Specifically, concern about the movement of trucks and school buses impacting the safety of pedestrians and school children.</p> <p>Of these community members, a few expressed the need for extensive traffic management measures.</p>	<p>Landcom has conducted a detailed Traffic and Transport Impact Assessment (TTIA) for the proposal. This will be submitted as part of the EIS.</p> <p>The TTIA found that most of the additional traffic will be generated by the Wentworth Point High School, with 89 additional trips anticipated in each peak period per direction.</p> <p>Other than the traffic generated by the high school, the TTIA indicates that the proposal will generate 25-45 less trips than the originally approved development.</p> <p>The TTIA used modelling and assessments from the State Significant Development Application for the <i>Sydney Olympic Park new High School Transport Access Impact Assessment (2021)</i> in its description of traffic generated by the school. A link to this assessment can be found: https://www.schoolinfrastructure.nsw.gov.au/content/dam/infrastructure/projects/s/sydney-olympic-park/sept-2021/SOPHS_FAQs_Sep2021_210916.pdf</p>

Stakeholder	How this group was consulted	Feedback	Project response
			<p>Longer term, the provision of public and active transport routes will reduce congestion on local roads. Students will be able to walk, cycle and use buses or light rail to travel to schools within the peninsula.</p>
		<p>Vehicle access</p> <p>Concern was raised regarding the proposed vehicle access arrangements, indicating that the proposal will worsen congestion on local roads.</p>	<p>Vehicle access</p> <p>Vehicle access to the mixed-use development is proposed off Burroway Road via the re-aligned access road.</p> <p>The re-aligned road will also provide access to the future playing field, to the new high school and provide an improved street interface to the regional Foreshore Park.</p> <p>Vehicular access to the wider road network will be made via Hill Road and Bennelong Parkway.</p> <p>Landcom has prepared a Traffic and Transport Impact Assessment for the proposal (TTIA), which considers that these access arrangements are suitable.</p>
		<p>Car parking</p> <p>Several community members expressed concern about the availability of street</p>	<p>Car parking</p> <p>The concept proposal includes approximately 504 car parking</p>

Stakeholder	How this group was consulted	Feedback	Project response
		<p>parking and noted that the existing parking spaces are not sufficient to accommodate new residents in the area. They also indicated that the delivery of the high school will exacerbate this issue further.</p>	<p>spaces; an additional 75 spaces on top of what is required under the Parramatta Development Control Plan (DCP).</p> <p>In addition to the mixed-use site, the future access road being delivered as part of the peninsula park construction will provide around 80 on-street parking spaces. Landcom is working with Council to determine how on-street parking will be managed, including consideration of measures to ensure some parking is reserved for use by school staff. This could include timed parking or use of gates to separate school spaces.</p> <p>Due to the change from the approved level of development, the reduction in building height and movement of the site, Landcom anticipates minimal impacts to the availability of on-street parking.</p>
		<p>Quantity of open space</p> <p>Several community members expressed concern about the removal of public open space to accommodate the mixed-use proposal, particularly the removal of park space.</p>	<p>Quantity of open space</p> <p>Landcom is working with landowner Transport for NSW to deliver around four hectares of open space at the Wentworth Point peninsula, adjacent to the mixed-use site. The peninsula</p>

Stakeholder	How this group was consulted	Feedback	Project response
		<p>Some community members indicated that they do not trust Landcom to deliver public open space on-site.</p> <p>Other concerns included the mislabelling of the 'plaza' and 'hard surfaces' as open space.</p>	<p>park will include a playground, fitness equipment, sheltered picnic areas, a waterfront walkway, public art, an amenities building and shared open space with Wentworth Point High School for community use outside of school hours.</p> <p>Community feedback regarding the quantum of public open space being delivered stems from a misunderstanding that the delivery of the previously approved mixed-use development would reduce the size of the peninsula park.</p> <p>In 2014, the NSW Government approved a masterplan for this precinct to deliver a 3.9ha peninsula park, a new access road, mixed-use development and a new primary school. The SSDA is consistent with this original intent for the precinct and seeks to facilitate the delivery of the previously approved mixed-use development, but on a smaller part of the site to accommodate the new Wentworth Point High School alongside the approved park and road.</p>

Stakeholder	How this group was consulted	Feedback	Project response
			<p>The updated concept proposal features additional public space to complement adjacent parkland, including:</p> <ul style="list-style-type: none"> ▪ A tree-lined pedestrian path and shopping plaza through the site, which will provide views from the waterfront to the new high school, and places for people to rest and socialise ▪ A waterfront walkway to link Burroway Road and the peninsula park, and create space for people to meet, relax and exercise.
		<p>Affordable housing</p> <p>Some community members suggested that Landcom deliver more affordable housing on-site. One community member suggested increasing this number to 30%, whilst also increasing the size of apartments to accommodate families.</p>	<p>Affordable housing</p> <p>Landcom will undertake a housing needs assessment to ensure the right mix of housing types is included in the proposal.</p> <p>As a State Owned Corporation, Landcom is a commercial business that achieves public outcomes while also generating financial returns for the NSW Government. Landcom has a responsibility to ensure that the mixed-use precinct is financially viable. Private housing and retail spaces will help fund the affordable</p>

Stakeholder	How this group was consulted	Feedback	Project response
			housing and community components of the mixed-use proposal.
		<p>Public transport and connectivity</p> <p>Several community members raised concerns about the lack of reliable transport in the area. Feedback was provided about the lack of transport options, with infrequent services, long wait times and crowded services.</p> <p>Concerns were raised that the current transport network cannot accommodate more residents (as associated with the proposal), with one community member suggesting the light rail be built prior to new residents moving into the area.</p>	<p>Public transport and connectivity</p> <p>Landcom has conducted a detailed Traffic and Transport Impact Assessment (TTIA) for the proposal, which notes that existing public and active transport planning would have considered the previously approved mixed-use development. The TTIA will be submitted as part of the EIS.</p> <p>In line with the NSW Government’s commitment to delivering 15,800 well-located homes, including affordable homes, by 2030, the proposal will provide easy access to current transport links including ferries, buses and nearby train stations at Rhodes and Sydney Olympic Park, as well as future transport links including the second stage of Parramatta Light Rail along Hill Road and Sydney Metro West, with a station at Sydney Olympic Park servicing the Wentworth Point peninsula.</p>
		Potential visual impacts	Potential visual impacts

Stakeholder	How this group was consulted	Feedback	Project response
		<p>Concerns were raised that the proposal will impact apartment views and create overshadowing.</p>	<p>As part of the proposal, Landcom is seeking to reduce the maximum building height to nine storeys. This is a reduction from the current maximum building height allowed onsite of 88m (approximately 27 storeys).</p> <p>If the future landowner of the mixed-use site seeks to amend this height, they will need to prepare and submit separate planning application/s, which will be publicly exhibited. A future development application would include a detailed design with the proposed building design, size and number of apartments. This would need to be approved by Council or another appropriate government planning authority.</p> <p>Landcom has conducted a Visual Impact Assessment (VIA) to assess the potential impacts of the proposal on privacy, overshadowing and views. The VIA is included in the EIS.</p>
		<p>Future sale of the site</p> <p>Some community members questioned whether the mixed-use site would be sold to Block H landowner/developer Billbergia should the proposal be approved.</p>	<p>Future sale of the site</p> <p>If the Concept SSDA is approved, the mixed-use site will be sold through a competitive tender process in line with Landcom's standard probity</p>

Stakeholder	How this group was consulted	Feedback	Project response
			requirements. Guided by the new controls set in the Concept SSDA, the future landowner will need to submit and receive approval of a separate development application before any construction can begin.
Wentworth Point Residents Action Group	<p>On Wednesday 28 August 2024, Urbis emailed the Wentworth Point Residents Action Group (WPRAG) via the wprag.wwp@gmail.com email address.</p> <p>This email provided summary information about the proposal and invited WPRAG to attend the drop-in community information session, complete the SIA survey, and provide any feedback or ask questions via the project enquiry lines. This email also included the offer of an individual online briefing with the project team.</p>	At the time of writing this report, no response from WPRAG has been received.	Landcom will keep WPRAG informed as planning for the mixed-use development progresses.
Wentworth Point Peninsula Town Team Inc (WPPTTI)	<p>On Wednesday 28 August 2024, Urbis emailed the Wentworth Point Peninsula Town Team Inc via the WPPTTI.info@gmail.com email address.</p> <p>This email provided summary information about the proposal and</p>	At the time of writing this report, no response from WPPTTI has been received.	Landcom will keep WPPTTI informed as planning for the mixed-use development progresses.

Stakeholder	How this group was consulted	Feedback	Project response
	<p>invited WPPTTI to attend the drop-in community information session, complete the SIA survey, and provide any feedback or ask questions via the project enquiry lines. This email also included the offer of an individual online briefing with the project team.</p>		
<p>Billbergia (neighbouring landowner to the site's south)</p>	<p>On Friday 23 August 2024, Landcom emailed Billbergia to notify them of the engagement period and provide summary information about the proposal.</p> <p>This email also invited Billbergia to complete the SIA survey, attend the drop-in information session, and provide any feedback or ask questions via the project enquiry lines.</p>	<p>No feedback on the proposal was received from Billbergia.</p>	<p>Landcom will continue to keep Billbergia informed as planning for the mixed-use development progresses.</p>
<p>Wentworth Point High School (site neighbour)</p>	<p>On Thursday 25 July 2024, Urbis and Landcom met online with the principals of Wentworth Point Public School and Wentworth Point High School; and representatives from the NSW Department of Education (Auburn Network of Schools) and School Infrastructure NSW (SINSW). The purpose of the meeting was to</p>	<p>Project involvement</p> <p>Wentworth Point High School and Wentworth Point Public School expressed interest in opportunities for their students to be involved in the proposal, and in other aspects of planning and delivery of the adjacent peninsula park.</p>	<p>Project involvement</p> <p>Landcom is keen to explore how students can be involved in delivery of the proposal, should it be approved, and in other opportunities related to the adjacent peninsula park. Opportunities to be explored include public art and educational experiences about the saltmarsh,</p>

Stakeholder	How this group was consulted	Feedback	Project response
	<p>update these stakeholders on the current masterplan and the intent of the Concept SSDA. Specifically, the meeting covered:</p> <ul style="list-style-type: none"> ▪ Project history ▪ Location of the mixed-use site and the surrounding land uses ▪ Key features of the proposal ▪ Design vision and principles ▪ Potential impacts ▪ The project timeline <p>Urbis and Landcom invited these stakeholders to ask questions about and provide feedback on the proposal, including to inform the Social Impact Assessment.</p> <p>In addition, Landcom provided an update about construction of the peninsula park and access road to the park and proposed mixed-use development. There was discussion about high school staff parking and</p>	<p></p> <p>Staff car parking</p> <p>Wentworth Point High School requested certainty around the number of car parking spaces that would be reserved for school staff.</p>	<p>including the importance of its rehabilitation.</p> <p>Landcom will continue to keep Wentworth Point High School and Wentworth Point Public School informed as the construction of the peninsula park and planning for the mixed-use development progress.</p> <p>Car parking</p> <p>The proposal includes 504 parking spaces for new residents of the mixed-use development; 75 more than what is required by the Parramatta DCP.</p> <p>In addition to the mixed-use site, the future access road being delivered as part of the peninsula park construction will provide around 80 on-street parking spaces. Landcom is working with Council to determine how on-street parking will be managed, including consideration of measures to ensure some parking is reserved for use by school staff. This could include timed parking or use of gates to separate school spaces.</p>

Stakeholder	How this group was consulted	Feedback	Project response
	<p>student pick-up/drop-off arrangements.</p>	<p>Pick-up/drop-off arrangements</p> <p>Wentworth Point High School expressed concern that the proposal will not provide adequate space for student pick-up/drop-off arrangements, and asked whether a bus parking bay or garbage collection space has been included in the proposal.</p> <p>Potential visual impacts</p> <p>Wentworth Point High School expressed concern with the potential view loss that would result from the project's approval.</p>	<p>Landcom has prepared a TTIA for the proposal which will assess whether the proposed parking will adequately service the entire precinct. The TTIA is included in the EIS.</p> <p>Pick-up/drop-off arrangements</p> <p>SINSW noted that the future access road being delivered as part of the peninsula park construction will provide a secondary space for school pick-up/drop-offs. The kiss-and-ride will also remain at the front of the school on Burroway Road, while a turning circle at the end of Burroway Road provides for easy turnaround.</p> <p>The future access road provides service access (e.g. garbage collection) for future mixed-use development and the high school.</p> <p>Potential visual impacts</p> <p>At present, the maximum building height allowed onsite is 88m (approx. 27 storeys). As part of the Concept SSDA for mixed-use development, Landcom is seeking to reduce the</p>

Stakeholder	How this group was consulted	Feedback	Project response
			<p>maximum building height to nine storeys.</p> <p>Landcom has prepared a Visual Impact Assessment (VIA) for the proposal, which includes an assessment of potential impacts on privacy, overshadowing and views. The VIA has been included in the EIS.</p>
		<p>Project timing</p> <p>Wentworth Point High School questioned when the project would be delivered and when residents would be able to move in.</p> <p>Wentworth Point High School also asked whether the roads and park will be delivered before the mixed-use development.</p>	<p>Project timing</p> <p>Timing for residents moving in will be determined by the future landowner of the site. Prior to this, the landowner will need to submit a DA seeking approval to construct the mixed-use development.</p> <p>SINSW noted that the access road and peninsula park will be completed before the mixed-use development.</p>
		<p>Affordable housing</p> <p>Wentworth Point High School asked a question about who could access affordable housing.</p>	<p>Affordable housing</p> <p>The inclusion of 15% affordable housing is a key condition of the sale of the site. Affordable housing apartments and tenancies will be managed in partnership with a community housing provider (CHP).</p>

Stakeholder	How this group was consulted	Feedback	Project response
			Affordable housing caters to those on low to moderate incomes. Eligibility for affordable housing is based on salary range, and teachers and other school staff may be eligible.
Wentworth Point Public School (site neighbour)		Wentworth Point Public School noted that there are a number of students that currently live in apartments on the Wentworth Point peninsula.	Noted. Landcom will continue to keep the Wentworth Point Public School informed as the construction of the peninsula park and planning for the mixed-use development progress.
Wentworth Point Public School Parents & Citizens (P&C) Committee	On Wednesday 28 August 2024, Urbis emailed the P&C to provide summary information about the proposal and invited the P&C to attend the drop-in community information session, complete the SIA survey, and provide any feedback or ask questions via the project enquiry lines. This email also included the offer of an individual online briefing with the project team.	At the time of writing this report, no response from the P&C has been received.	Landcom will keep the P&C informed as planning for the mixed-use development progresses.
Parramatta River Catchment Group (PRCG)	On Wednesday 28 August 2024, Urbis emailed the PRCG to provide summary information about the proposal and invited the PRCG to attend the drop-in community information, complete the SIA	<p>Design approach</p> <p>PRCG noted it liked the design approach for the proposal, including:</p> <ul style="list-style-type: none"> Podium design of the mixed-use buildings, in particular how the 	<p>Design approach</p> <p>There is around a 20m difference in height of the proposed buildings and the high school's buildings to help minimise overshadowing.</p>

Stakeholder	How this group was consulted	Feedback	Project response
	<p>survey, and provide any feedback or ask questions via the project enquiry lines. This email also included the offer of an individual online briefing with the project team.</p> <p>The project team met online with representatives from the Group on Wednesday 11 September 2024. The purpose of the meeting was to update PRCG on the current masterplan and the intent of the Concept SSDA. Specifically, the meeting covered:</p> <ul style="list-style-type: none"> ▪ Project history ▪ Location of the mixed-use site and the surrounding land uses ▪ Key features of the proposal ▪ Design vision and principles ▪ Potential impacts ▪ Project timeline. <p>In addition, Landcom provided an update about construction of the peninsula park and saltmarsh rehabilitation works.</p>	<p>residential and retail components provided screening for car parking</p> <ul style="list-style-type: none"> ▪ The proposed 9-storey height will limit overshadowing, including for the new high school, and break up the bulk of the new buildings ▪ Good use of place-making principles ▪ Considerate activation ▪ Inclusion of the through-site link enables passive surveillance ▪ The use of a flat site accommodates differently abled community members. <p>Water sensitive design (WSD) initiatives</p> <p>PRCG noted that stormwater treatment will be essential; and the group is interested to see initiatives undertaken on both private and public components of the proposal.</p> <p>PRCG suggested that the proposal includes requirements for WSD initiatives implemented during construction be maintained by the construction contractor for a period after handover of the site for operation, to ensure these systems are well maintained. This includes stormwater,</p>	<p>The proposal has been designed to make a positive contribution to the area, particularly with regards to amenity and housing supply.</p> <p>Water sensitive design (WSD) initiatives</p> <p>The Concept SSDA has been guided by local and state planning requirements and industry best practice regarding WSD, to follow suitable WSD principles.</p> <p>The future landowner will need to submit and receive approval of a separate development application before any construction can begin. This DA will need to comply with the controls set in the Concept SSDA, as</p>

Stakeholder	How this group was consulted	Feedback	Project response
		<p>sediment control and onsite water detention.</p>	<p>well as local and/or state planning requirements.</p> <p>Sediment control initiatives would need to be implemented during construction by the future landowner, particularly given the proposal's location next to Parramatta River.</p>
		<p>Community connection with Parramatta River</p> <p>PRCG noted there are opportunities to connect people to Parramatta River, including raising awareness of:</p> <ul style="list-style-type: none"> ▪ How the landscape links to the five iconic species for the Parramatta River that are integral positive ecological outcomes ▪ History of the bay, including maritime and shipping history. <p>This could be done through public art and through areas for water recreation such as canoeing or kayaking.</p> <p>With regards to the peninsula park, PRCG supports the saltmarsh being 'stepped down' and separated from the active areas</p>	<p>Community connection with Parramatta River</p> <p>Landcom will continue to engage PRCG about the proposal, including working with the group on potential:</p> <ul style="list-style-type: none"> ▪ Information and interpretive approaches that support connection to the site's ecology (such as signage or play equipment for the park) ▪ School excursions and/or educational talks about the site's ecology, saltmarsh restoration, and water health. <p>Landcom will consider 'launching' areas for such water recreation activities, with the safety of community members the key consideration.</p>

Stakeholder	How this group was consulted	Feedback	Project response
		of the site to support their rehabilitation and protection.	
Aboriginal stakeholders			
Aboriginal Cultural Groups	<p>In line with the requirements of the SEARs, and to inform the ACHAR for the proposal, Landcom’s appointed consultant Kelleher invited Aboriginal Cultural Groups that operate in, or have a connection to, Wentworth Point to share their feedback. Five groups shared their feedback.</p> <p>Further information can be found in the ACHAR.</p>	Feedback provided by Aboriginal Cultural Groups can be found in the ACHAR.	<p>Landcom’s consultant provided engaged Aboriginal Cultural Groups the opportunity to review the ACHAR before it was finalised.</p> <p>The future landowner will need to submit and receive approval of a separate development application before any construction can begin. As part of their DA preparation, the future landowner will need to engage Aboriginal Cultural Groups.</p>

6. FUTURE COMMUNITY AND STAKEHOLDER ENGAGEMENT

Landcom welcomes feedback on the proposal. Landcom will continue to keep stakeholders and the community informed of the project approval process through the exhibition and determination phase by:

- Continuing to engage with the community about the project, its potential impacts, and the approval process.
- Enabling the community to seek clarification about the project through two-way communication channels.

Should the proposal be approved, Landcom is committed to providing the community with information about the tender process and sale of the site.

DISCLAIMER

This report is dated 29 October 2024 and incorporates information and events up to that date only and excludes any information arising, or event occurring, after that date which may affect the validity of Urbis Ltd (**Urbis**) opinion in this report. Urbis prepared this report on the instructions, and for the benefit only, of LANDCOM (**Instructing Party**) for the purpose of Engagement Outcomes Report (**Purpose**) and not for any other purpose or use. To the extent permitted by applicable law, Urbis expressly disclaims all liability, whether direct or indirect, to the Instructing Party which relies or purports to rely on this report for any purpose other than the Purpose, and to any other person which relies or purports to rely on this report for any purpose whatsoever (including the Purpose).

In preparing this report, Urbis was required to make judgements which may be affected by unforeseen future events, the likelihood and effects of which are not capable of precise assessment.

All surveys, forecasts, projections and recommendations contained in or associated with this report are made in good faith and on the basis of information supplied to Urbis at the date of this report, and upon which Urbis relied. Achievement of the projections and budgets set out in this report will depend, among other things, on the actions of others over which Urbis has no control.

In preparing this report, Urbis may rely on or refer to documents in a language other than English, which Urbis may arrange to be translated. Urbis is not responsible for the accuracy or completeness of such translations and disclaims any liability for any statement or opinion made in this report being inaccurate or incomplete arising from such translations.

Whilst Urbis has made all reasonable inquiries it believes necessary in preparing this report, it is not responsible for determining the completeness or accuracy of information provided to it. Urbis (including its officers and personnel) is not liable for any errors or omissions, including in information provided by the Instructing Party or another person or upon which Urbis relies, provided that such errors or omissions are not made by Urbis recklessly or in bad faith.

This report has been prepared with due care and diligence by Urbis and the statements and opinions given by Urbis in this report are given in good faith and in the reasonable belief that they are correct and not misleading, subject to the limitations above.

APPENDIX A

COMMUNITY POSTCARD

Landcom has updated plans to deliver a smaller development at the Wentworth Point peninsula.

The updated mixed-use development plans for 9 Burroway Road include:

- A waterfront walkway connecting the peninsula park with Burroway Road
- A new shopping plaza
- Two building complexes with ground floor shops and nine-storey apartment buildings above (reduced from 27 storeys)
- Around 400 homes, including 15% affordable rental housing for people on low to moderate incomes.

We invite you to share your feedback to inform a State Significant Development Application for the site.



Proposed new mixed-use development

Peninsula park
Construction ramping up from September 2024

Artists' Impression of the proposed new Wentworth Point mixed-use development

How to have your say on our updated mixed-use development plans:

Online survey

Scan the QR code to share your feedback* about the proposal, and how it may benefit or impact you.



*Your feedback will be included, anonymously, in the Social Impact Assessment report for the State Significant Development Application.

Drop-in information session

Meet the team, learn more and share your feedback:



31 August 2024



Drop in anytime between 10:30am and 12:30pm



Wentworth Point Community Centre and Library

If you need assistance to attend or interact with information at the drop-in session, please contact the team.

Questions?

Find out more or contact the team:



1800 244 863



wentworthpoint@landcom.nsw.gov.au



joinin.landcom.nsw.gov.au/
wentworthpoint

Language help



Call the Translating and Interpreting Service on 131 450 for free help.

[Chinese (Simplified) | 简体中文] 这张明信片包含有关 Landcom 在 Wentworth Point 进行混合用途开发最新提案的信息。

请扫描这个二维码，浏览简体中文版本的相关信息。

[Korean | 한국어] 이 엽서에는 Wentworth Point (Wentworth Point)의 복합 용도 개발을 위한 Landcom의 최신 계획안 정보가 담겨 있습니다. 이 정보를 한국어로 보시려면 QR을 스캔하십시오.

[Chinese (Traditional) | 繁體中文] 此明信片內含 Lancom 公司在溫特沃斯角 (Wentworth Point) 混合用途開發的最新提案。

如需本資訊粵語 / 繁體中文版本，請掃描此 QR 碼。

[Arabic | العربية] تحتوي هذه البطاقة على معلومات عن تحديث عرض Landcom لتطوير منشآت الاستخدامات المختلفة في منطقة Wentworth Point. للاطلاع على هذه المعلومات باللغة العربية، يُرجى مسح رمز الاستجابة السريعة.

APPENDIX B

INFORMATION BOARDS DISPLAYED AT THE COMMUNITY INFORMATION SESSION

Acknowledgement Of Country



Landcom respectfully acknowledges the Traditional Custodians of Country throughout NSW and recognises and respects their continuing cultural heritage, beliefs and connection to land, sea and community.

Wentworth Point is located on the land of the Wangal clan, one of 29 tribes of the Eora Nation and the traditional custodians of this land. We thank them for their care and custodianship since time immemorial.

'Our Journey'
Created by Danielle Mate



Key considerations

Landcom will submit a range of technical studies with the application to address:

- | | |
|--|-----------------------------------|
| Housing needs | Heritage |
| Access, traffic, parking and transport | Urban design and landscape design |
| Amenity and social impact | Civil engineering |
| Noise and air quality | Environmental considerations |
| Hazardous materials | |

Site remediation

Remediation is needed to manage contaminants found onsite to ensure the site is safe for development and community use. These contaminants reflect the site's former industrial uses, and the acid sulphate soils common to the Homebush Bay area.

We have engaged specialist environmental consultants to develop a strategy to manage this process.

Noise and air quality

During construction, ways to manage potential noise and dust impacts may include:

- noise and dust screening
- watering the site to prevent dust
- stopping construction work during storms and high wind
- covering worksites to minimise dust

The preliminary hazardous materials study found the risk of airborne particles leaving the site, or the community being affected by contaminants from the site, is very low.

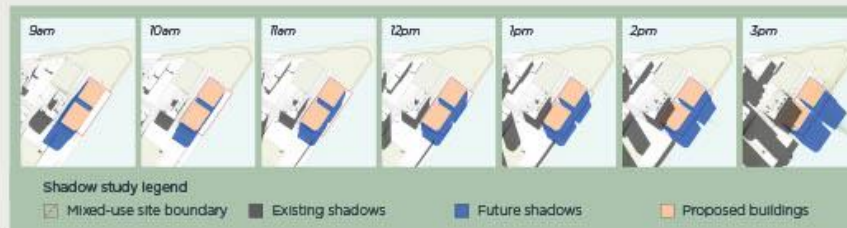
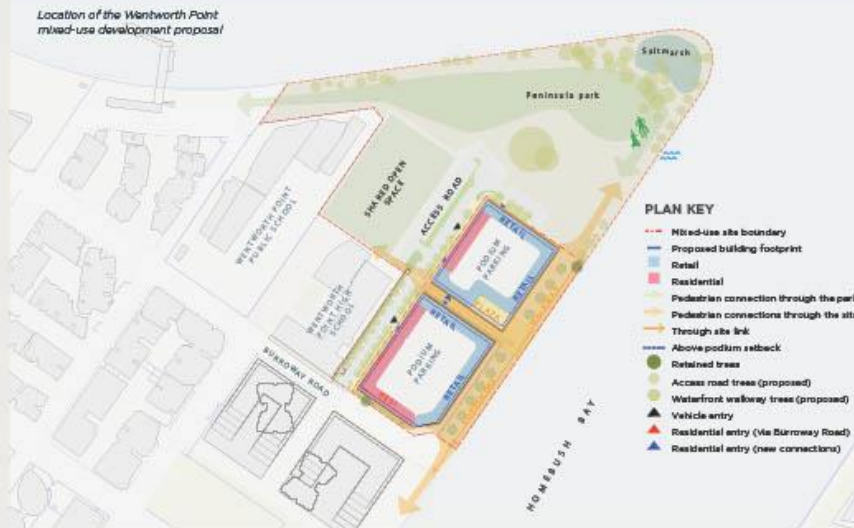
Height, visual amenity and privacy

Currently, the maximum building height allowed on site is 88 metres (approximately 27 storeys). If approved, the application for mixed-use development will reduce the site's maximum building height to nine storeys.

The apartment buildings will be setback from the edge of the building complexes to reduce overshadowing, while ensuring suitable distance between the buildings so future residents have adequate privacy, sunlight and views.

The proposed mixed-use development is separated from the Wentworth Point High School by an access road and footpaths.

This shadow study shows potential overshadowing from the proposed mixed-use buildings during winter (21 June, the winter solstice) between 9am and 3pm. The analysis shows that new buildings will not overshadow existing neighbouring buildings.



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A liveable and well-designed precinct for Wentworth Point



Landcom is working with landowner Transport for NSW to transform the northeastern part of the Wentworth Point peninsula with new homes and open space linked to schools, community facilities, shops and the Parramatta River waterfront.

In 2014, the NSW Government approved a masterplan to deliver open space, a new road, mixed-use development and a new primary school. In 2020 the NSW Government announced a new high school would be built alongside the primary school.

To provide room for the new Wentworth Point High School, shared open space and peninsula park, and to provide much-needed housing, we have been working to update the site's planning controls.

We are preparing a State Significant Development Application for a concept masterplan to guide future mixed-use development on a smaller part of the site to what was previously approved.

The application is for a design concept, including proposed building heights (maximum nine storeys) and gross floor area (41,500m²).

The artist's impression to the right shows the key features of the updated plans for 9 Burroway Road.

Supporting local needs

According to the 2021 Census, 36% of renters in Wentworth Point were experiencing rental stress, paying more than 30% of income on rent.

The mixed-use development is a key component of the Wentworth Point precinct. It will help to deliver much-needed homes and support the delivery of a high-quality neighbourhood park. Around 15% of homes will be affordable rental housing, directly supporting local need for more affordable rental options.

Affordable housing caters to those on low to moderate incomes, such as key workers. Rent is priced so tenants can afford other basic living costs such as food, clothing, transport, medical care and education.

Affordable housing differs from social housing in that it is usually managed by a non-government organisation. It is managed more like a private rental with eligibility criteria.



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Next steps

Landcom is seeking approval from the NSW Department of Planning, Housing and Infrastructure to reduce and relocate the proposed mixed-use development through the State Significant Development Application process.

- The next step will be to prepare an Environmental Impact Statement which will assess any potential impacts from construction and operation of the proposed mixed-use development and suggest mitigation measures. Before taking this next step, we are inviting neighbours and the wider community to share their feedback.
- Community feedback will help to refine plans. All feedback received will be documented in a Consultation Outcomes Report as part of the application, which we aim to submit to the Department later this year.
- The Department will publicly exhibit the application, during which time the community can make formal submissions.
- If the application is approved, the mixed-use development site will be sold through a competitive tender process. Guided by the new planning controls set in the application, the future landowner will need to submit and receive approval for a separate development application before any construction can begin.

Have your say

Community engagement is an important part of our planning process.

Provide your feedback to help inform the application:

Speak to a team member today

Complete our online survey - visit joinin.landcom.nsw.gov.au/wentworthpoint or scan the QR code



Email wentworthpoint@landcom.nsw.gov.au

Call 1800 244 963

Stay informed

We will keep the community and stakeholders informed throughout the planning process. To sign up for project e-newsletters, scan the QR code above or visit joinin.landcom.nsw.gov.au/wentworthpoint

Artist's impression of the mixed-use buildings looking northeast from Burroway Road, with the high school and access road on the left



Artist's impression of the view to the south, showing the waterfront walkway where the proposed mixed-use buildings meet the peninsula park



Artist's impression of the view to the west, showing the plaza and through-site link between the two proposed mixed-use buildings

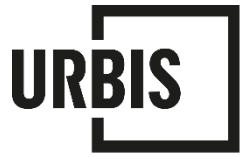


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APPENDIX C

COMMUNITY INFORMATION SESSION PHOTOS





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