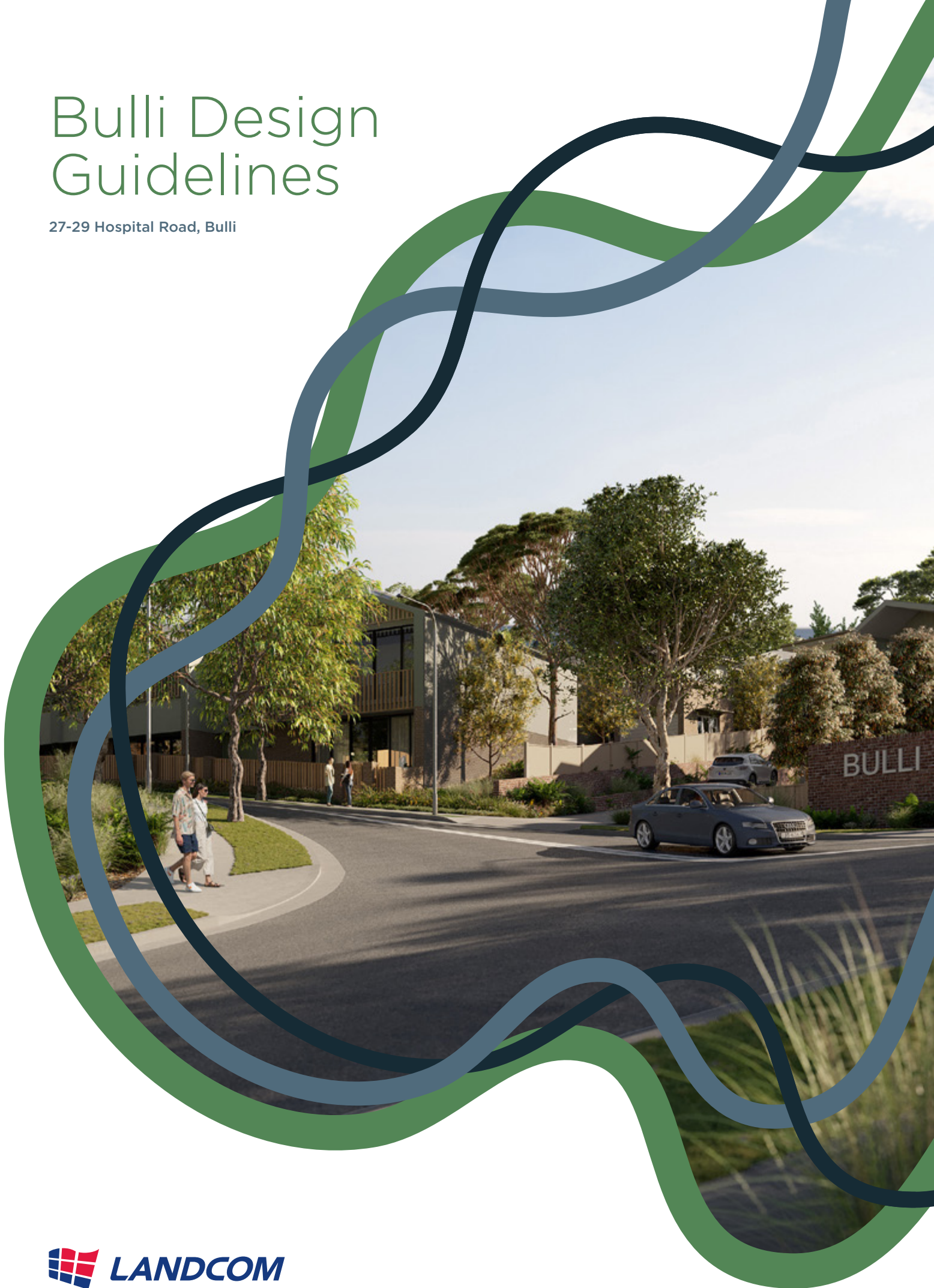


Bulli Design Guidelines

27-29 Hospital Road, Bulli



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Images are for illustrative purposes and are indicative only.

Glossary of Terms

Articulation	The development may have an articulation zone that extends forward of the building line within which building elements, such as porticoes, balconies, decks, verandahs and bay windows, are permitted to be located.
Building Approval	The process for securing development consent for your home through a Development Application (DA) or a Complying Development Certificate (CDC) Building Envelope Plan.
Building Envelope Plan	The plan outlined in your Contract of Sale detailing the boundaries of your property, the designated area where your home can be built, garage location and preferred location for Principle Private Open Space.
Codes SEPP	State Environment Planning Policy (Exempt and Complying Development Codes) 2008.
Consent Authority	The statutory approval authority responsible for the determination of your Development Application (Wollongong City Council) or Complying Development Certificate (private certifier, also known as a Principal Certifying Authority or PCA)
Contract of Sale	The sales contract for the purchase of your land in Bulli that includes specific requirements and conditions and must be followed, including adherence to the Bulli Design Guidelines.
Design Approval	An approval from Landcom verifying that your home has been designed in line with the Bulli Design Guidelines.
Design Guidelines	A reference to this document, the Bulli Design Guidelines, or the 'Design Guidelines' as stated in your Contract of Sale.
Development Control Plan	The Wollongong Development Control Plan 2009
Private Open Space (POS)	An outdoor area adjacent to a building, which may include land, a terrace, balcony, or deck, that is designated for private outdoor and recreational activities related to the use of your home.
Principal Private Open Space (PPOS)	The private open space area which is useable and accessed from a living area. For PPOS located at the front of a dwelling this can be in the form of front garden court, verandah or balcony.

1 | Vision for Bulli

Landcom is transforming the former Bulli Hospital site with a diverse mix of housing that increases local housing options.

The design for the homes on this site are inspired by their elevated coastal setting framed by the Illawarra escarpment, history and materiality of the former hospital, and historical workers' cottages in the area.

Featuring homes designed to blend with the character of the area, including terraces, duplexes, manor houses and freestanding houses, the project will help to provide greater choice and housing security for a range of new residents.

Located close to Bulli train station and providing easy access to local schools, shops and community facilities, the Bulli project will suit a variety of households and incomes.



Images are for illustrative purposes and are indicative only.

2 | Purpose of these Guidelines

The Bulli Design Guidelines (the 'Design Guidelines') have been developed with the aim to create a beautiful, cohesive new neighbourhood on the site of the old Bulli Hospital.

The Design Guidelines set out standards to ensure that your community has attractive streetscapes with well-designed, complementary residences and consistent landscaping, reflecting a shared vision for the Bulli project and offering residents a strong sense of place.

The Design Guidelines form part of the Contract of Sale and are also included in the restrictions on title known as the Section 88B Instrument. Approval by Wollongong City Council under the Development Control Plan (DCP) or by a Principal Certifying Authority (PCA) under Housing or Codes SEPP (Complying Development) is still required.

The Bulli Design Review Panel (DRP) will review all proposed home designs within Bulli for compliance with these Guidelines. Purchasers or their selected builders or designers must submit their house designs along with their landscape plans for review and approval by the Bulli DRP prior to lodgement with Wollongong City Council or a Principal Certifying Authority (PCA) for approval.

If you have any questions relating to these guidelines, please contact the Project Team at: Bulli@landcom.nsw.gov.au



Images are for illustrative purposes and are indicative only.

3 | Approval Process

Step 01 Inform your Builder about the Bulli Design and Landscaping Guidelines

Provide your builder with a copy of the Design Guidelines. Ensure your builder understands that compliance with the Bulli Guidelines is a condition of your Contract of sale and the Restrictions on Title in the 88B.

Step 02 Bulli Design Review Panel Approval

Submit your house plans, garden layout, schedule of main external materials and colours, and BASIX assessment to the Bulli Design Review Panel for approval. Ensure your plans meet these Guidelines.

Step 03 Authority Approval

Once you've obtained approval from the Bulli DRP, lodge your plans with the Council (or Private Principal Certifying Authority) for approval.



IMAGE COURTESY OF LANDCOM TO PROVIDE

Images are for illustrative purposes and are indicative only.

4 | Siting your Home

Carefully considered siting can significantly improve the amenity and livability of your home, increasing access to natural light and ventilation, providing better private outdoor space and maximising utilisation of your lot area.

The best approach to siting your house will differ depending on the lot and housing type. The diagrams within this chapter illustrate the correct approach to siting for typical lots of the following housing typologies:

1. Manor Houses
2. Detached Houses
3. Semi-Detached Houses
4. Terrace Houses
5. Terrace Houses with Garage Studio

The following site plans reflect general consideration of the Complying Development Code (the Codes SEPP 2008). To ensure statutory compliance, you should refer to the specific planning controls for your lot, bushfire requirements Section 88B Instrument and Plan of Subdivision.

For all dwelling types, you should ensure:

1. The building design is suitable for your site, orientation and topography with good solar access to living areas and garden.
2. Dwelling and garden present well to the street and enhance the neighbourhood
3. Landscaping to side and rear setbacks to mitigate visual impact of the building (Refer to Chapter 7 Landscaping).
4. Compliance with relevant planning controls depending on the chosen approvals pathway.
5. Compliance with applicable design and construction standards in Bushfire Prone Areas and Asset Protection Zones.

Legend

- Lot boundary
- - - Indicative Building Footprint - Ground
- - - Indicative Building Footprint - Upper
- Setbacks
- Garage
- PPOS
- - - Articulation Zone
- Feature Tree
- Landscaped Space
- Entryway

Manor House

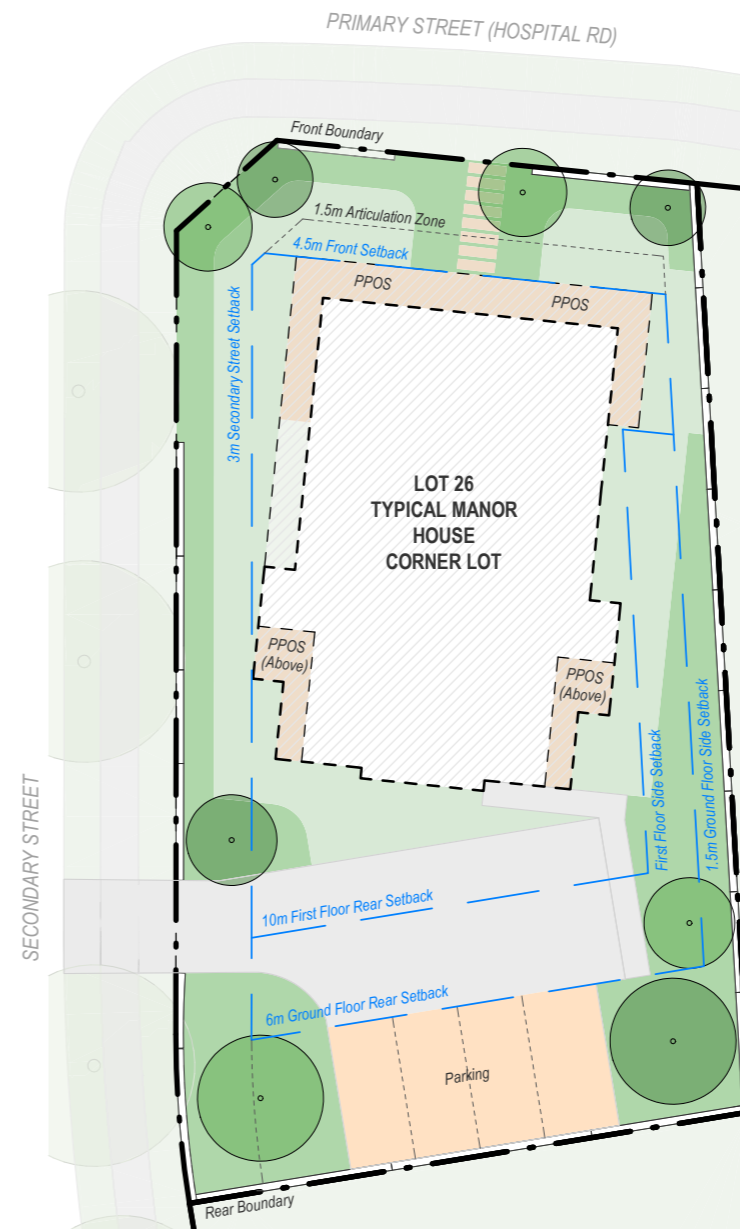


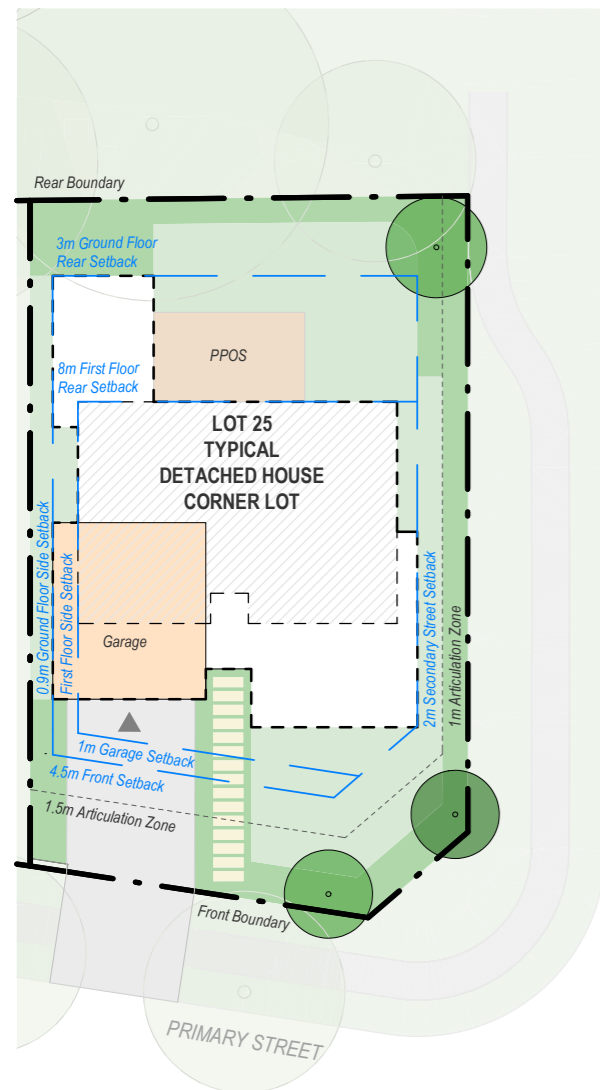
Fig 1. Manor House Typical Siting

For Manor Houses, you should ensure:

1. On corner lots, the building addresses both frontages via facade articulation and window and balcony orientation.
2. The primary frontage and main pedestrian access addresses Hospital Road.
3. Orient living spaces and principal private open spaces (PPOS) to the north where possible to maximize access to daylight and winter sun.
4. The building is energy efficient and comfortable to live in by maximizing access to daylight and natural ventilation.
5. PPOS is useable and optimises a transition between indoor and outdoor living.
6. Windows, balconies, stairs, terraces, decks, verandahs or other private areas which directly overlook private open space of an adjoining property must be obscured or screened.
7. No vehicular access and parking via Hospital Road is allowed. On corner lots with a frontage to Hospital Road, vehicular access is to be via the secondary road.

Legend

- Lot boundary
- - - Indicative Building Footprint - Ground
- - - Indicative Building Footprint - Upper
- Setbacks
- Garage
- PPOS
- - - Articulation Zone
- Feature Tree
- Landscaped Space
- Entryway



Detached House

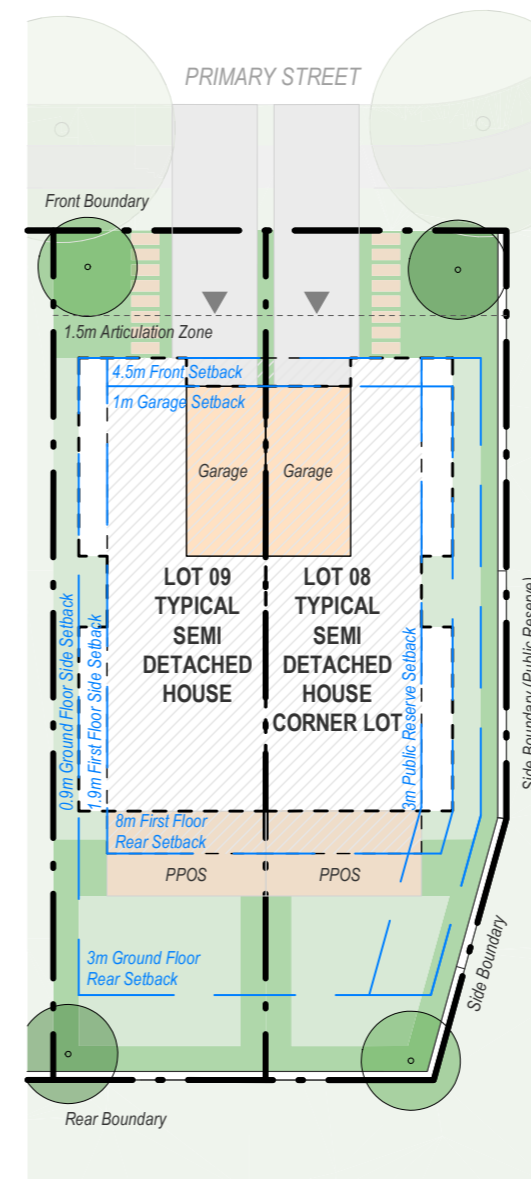
For Detached Houses, you should ensure:

1. On corner lots, the house addresses both frontages with good windows, facade articulation and balconies, particularly to Hospital Road.
2. Orient living spaces and PPOS to the north where possible to maximize access to daylight and winter sun.
3. The building is energy efficient and comfortable to live in by maximizing access to daylight and natural ventilation.
4. PPOS is useable and optimises a transition between indoor and outdoor living.
5. Windows, balconies, stairs, terraces, decks, verandahs or other private areas which directly overlook Principal Private Open Space of an adjoining property must be obscured or screened.
6. The garage is set back at least 1m behind the front building line.
7. No vehicular access and parking via Hospital Road is allowed. On corner lots with a frontage to Hospital Road, vehicular access is to be via the secondary road.

Fig 2. Detached House Typical Siting

Legend

- Lot boundary
- - - Indicative Building Footprint - Ground
- - - Indicative Building Footprint - Upper
- Setbacks
- Garage
- PPOS
- - - Articulation Zone
- Feature Tree
- Landscaped Space
- Entryway



Semi-Detached House

For Semi-Detached Houses, you should ensure:

1. The overall building form of attached house pairs are identical.
2. The material palette of attached house pairs complement each other, with slight variations to articulation for visual interest. For example, the front facade first-floor balconies are the same size and position but clad in different materials such as weatherboards versus timber screens.
3. On corner lots, buildings address both frontages with facade articulation, good windows and balconies.
4. Orient living spaces and principal private open spaces to the north where possible to maximize access to daylight and winter sun.
5. The building is energy efficient and comfortable to live in by maximizing access to daylight and natural ventilation.
6. Principal private open space is useable and optimises a transition between indoor and outdoor living.
7. Windows, balconies, stairs, terraces, decks, verandahs or other private areas which directly overlook private open space of an adjoining property must be obscured or screened.
8. The garage is setback 1m behind the front building line.
9. Driveways are located at least 300mm from a side boundary, allowing for planting within this area.

Fig 3. Semi-Detached Typical Siting

Legend

- Lot boundary
- Indicative Building Footprint - Ground
- Indicative Building Footprint - Upper
- Setbacks
- Garage
- PPOS
- Articulation Zone
- Feature Tree
- Landscaped Space
- Entryway

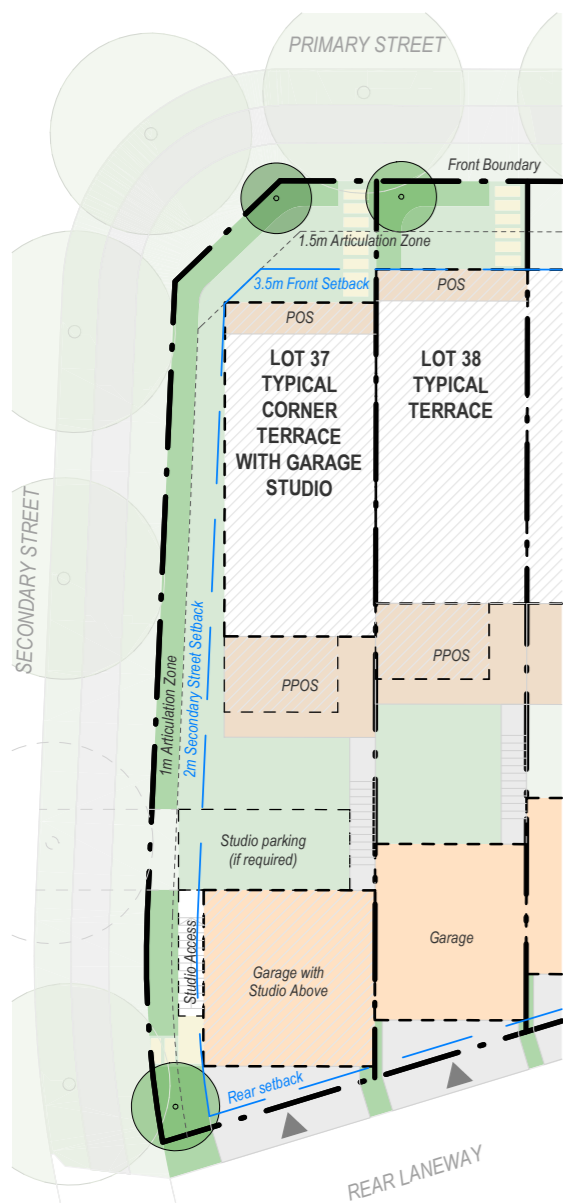


Fig 4. Terrace Typical Siting

Terrace House & Terrace House with Garage Studio

For Terraces, you should ensure:

1. The overall building form of attached terraces are identical.
2. The material palette of attached terraces complement each other, with slight variations to articulation for visual interest. For example, the front facade first-floor balconies are the same size and position but clad in different materials such as weatherboards versus timber screens.
3. On corner lots, buildings address both frontages with facade articulation, good windows and balconies.
4. The building is energy efficient and comfortable to live in by maximizing access to daylight and natural ventilation.
5. Principal private open space is useable and optimises a transition between indoor and outdoor living.
6. Windows, balconies, stairs, terraces, decks, verandahs or other private areas which directly overlook private open space of an adjoining property must be obscured or screened.
7. Garages are located on the rear lane frontage.
8. If stair access is required between the house and garage, this is positioned to maximize solar access to private open space.

Additionally for Terrace Houses with Garage Studios, you should ensure:

- Studio access is provided via the rear laneway or secondary frontage, and clearly separated from the Terrace House.
- Studio windows are oriented to the secondary road frontage and rear laneway to maintain privacy to the Terrace House, and provide passive surveillance of the public domain.
- Privacy is maintained between the Studio and Terrace House via window orientation and screening.
- Studio off-street parking, if required, is separated from Terrace House parking. This could be accessed via the secondary road frontage.



Images are for illustrative purposes and are indicative only.

Dealing with Topography/Level Changes

Topography

You should ensure:

1. You consider level changes/stepping of your house to ensure it appropriately addresses the sites topography. This will differ depending on the topography and orientation of your site.
2. Fencing is stepped or raked to address changes in site topography.
3. Retaining walls are used in a considered way and finished appropriately throughout the landscaped area to create usable outdoor space and mediate level changes. Retaining walls should be limited to max 900mm high (lesser, closer to 600mm high, is preferred to remain accessible) to avoid the requirement for a balustrade on top.
4. Retaining walls are constructed in accordance with statutory requirements and DA approved documents, with finishes consisting of brick or sandstone as outlined in Section 6 Materials and Colour Palette.
5. Spaces are located or suitably screened to address privacy and to limit overlooking of adjacent living spaces.
6. Raised planter boxes are utilised against high walls to reduce visible bulk.

On steep sites, consider:

- Stepping your house - adjusting the levels of your home so that they relate to the natural ground line more closely. This can be a minor step or a full level depending on the site conditions and may allow improved connection between indoor and outdoor living spaces.



Images are for illustrative purposes and are indicative only.

Legend

- Lot boundary
- - - Indicative Building Footprint
- - - Indicative Building Levels
- Height Limit
- Garage
- PPOS

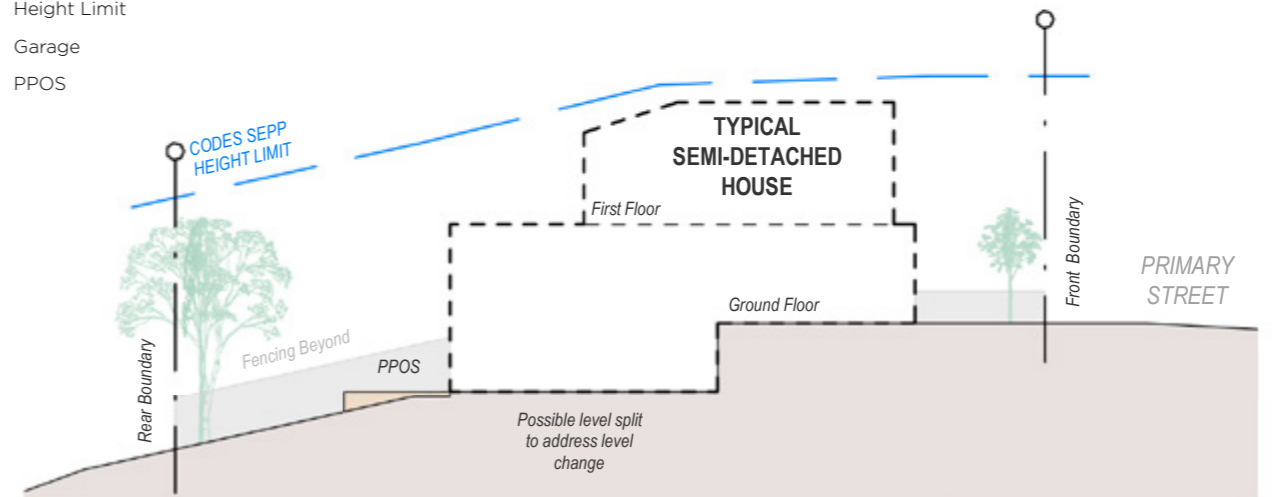


Fig 5. Steep Site - Typical Semi Detached

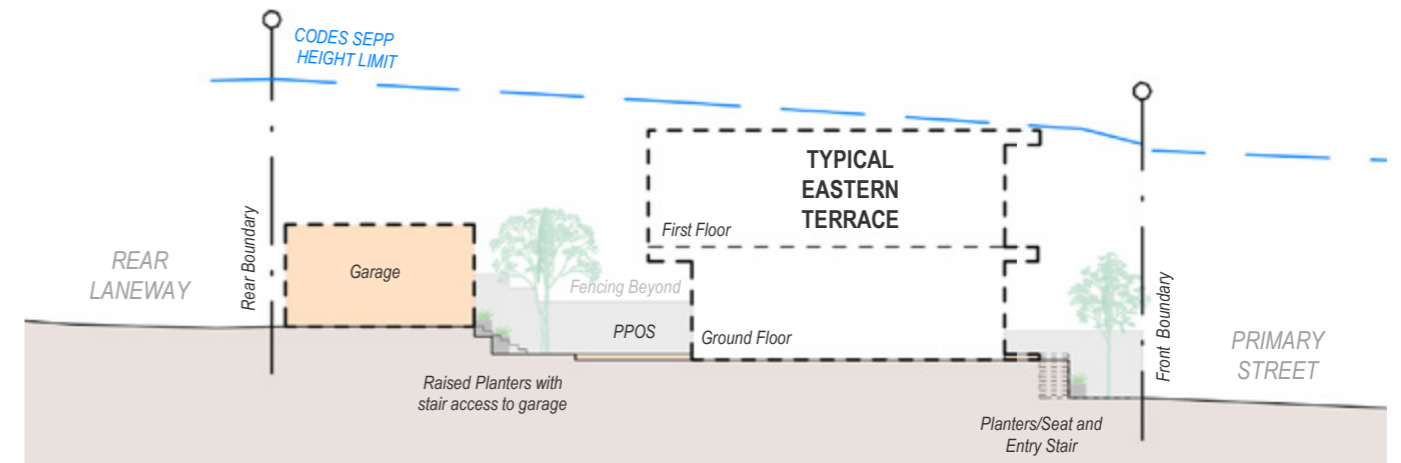


Fig 6. Typical Eastern Terrace

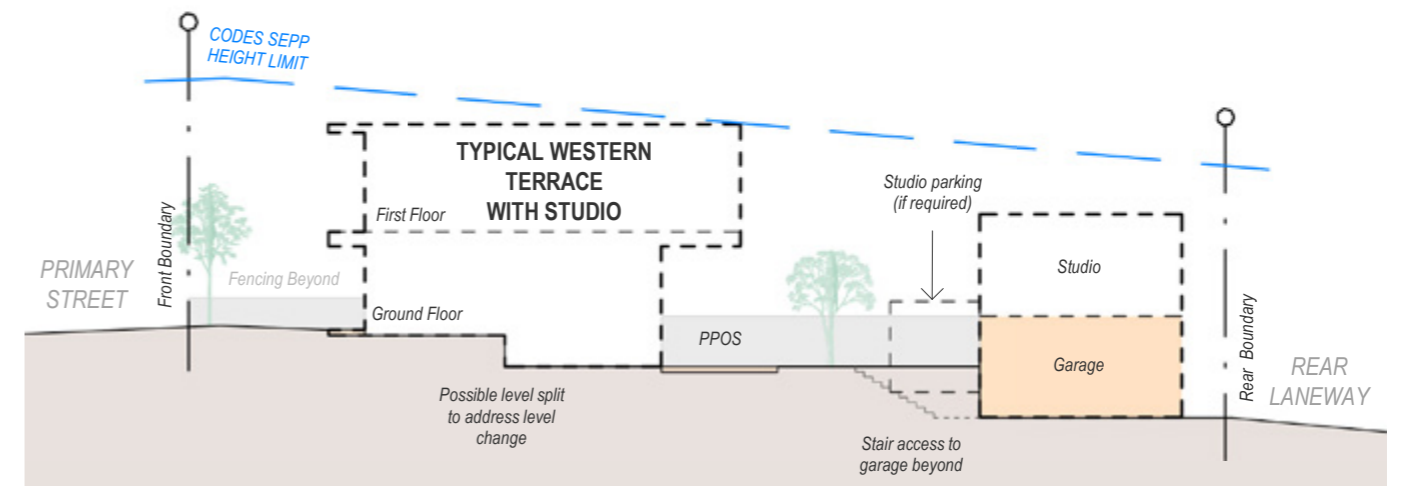


Fig 7. Typical Western Terrace with Garage Studio

5 | Frontages and Roof Design

The frontages of a home express both its identity and its inclusion within its broader built context. Homes within the Bulli neighbourhood should complement and enhance each other and the community as a whole, while also promoting an extent of individual expression. Articulation to the public faces of a home should include considered variations in design elements, depth and materiality to facilitate this outcome as expressed in the Project Vision.

Homes within this community are seeking to present as a well considered built community that is contemporary and sustainable, referencing its location and history through a consistency in scale, architectural expression and materials.

Homes here are to be high-quality and contemporary three-dimensional forms, rather than a front façade concealing an inferior-quality side and rear. Buildings are to be articulated with larger forms broken down to relate to the smaller scale of the historic worker's cottages in the area.

While masonry is encouraged to the base of buildings to relate to the language and materials of the site's past, it is to be limited to the ground floor only, extending only to a logical height such as window sills, window/door heads, the underside of upper level balconies or, at most, may include an upper level planter box. In any instance, lightweight cladding is to be the predominant material, particularly to the upper level.

Variations in cladding through orientation, size, spacing and finish should be used to break up larger extents and massing.

Garage doors to primary frontages (Detached and Semi-Detached dwelling types) must be of good quality simple design, such as sectional overhead or panel-lift type doors. Roller doors are not to be used.

The following pages outline facade design for the various housing typologies:

1. Manor Houses
2. Detached Houses & Semi-Detached Houses
3. Terrace Houses & Terrace Houses with Garage Studio

The building facade consists of the following key elements:

1. Primary Frontage (Primary Street)
2. Secondary Frontage (Corner Lots)
3. Balconies
4. Entryways
5. Roof Form



Images are for illustrative purposes and are indicative only.

Manor House



Fig 8. Manor House Primary Frontage

Weather protected living spaces to north with connection to private open space

Operable shades/privacy screens.

Primary Frontage (Primary Street)

- Primary frontages are to be high quality and contemporary in character. Materials and colours on the primary frontage must wrap around the corners and return a minimum of 3m on both side facades on non-corner lots.
- All windows facing the street must be clear glazed.
- Window frame and colour should complement the primary colour palette.
- Habitable room windows should be provided at ground and first floor fronting the street and public domain to facilitate passive surveillance.
- Facade articulation must break up blank walls along primary and secondary streets, extensive blank walls are not permitted.
- Openings, particularly those west facing, are to incorporate screening such as operable shade screens, louvres, blinds and greenery for sun protection, privacy and visual interest appropriate to orientation.

Secondary Frontage (Corner Lots)

- Homes on corner lots must address the secondary street with facade elements, colours and materials consistent with, and complementing the primary frontage.
- Habitable rooms should present to both frontages with good sized windows which allow passive surveillance.

Balconies

- Habitable room balconies accessed via full-width glazed doors and windows are encouraged to the upper primary and rear frontages. These maximise natural light and ventilation, provide additional outdoor area and improved connection to the street, make use of available views and enhance the building's appearance.
- Adjustable shade screens are encouraged to balconies, ideally consisting of 25-50% of the frontage width.
- Balustrades are to be solid panels or vertical slats integrated into the main facade / framing elements.
- Balconies to the primary frontage should also wrap around to secondary frontage where possible.



Fig 9. Manor House Primary/Secondary Frontage

Low fencing to front building line.

Fencing step up behind front face of building line

Roof Forms

- For two-storey developments, ground floor roofs are to be of minimum pitch behind parapet walls. Integrated roof gardens are encouraged to soften building edges.
- Minimum pitch for primary roof form is to be 25 degrees.
- First floor roofs are to be pitched in an asymmetric arrangement when viewed from the public domain, with the shallowest roof pitch oriented to the north to maximize opportunities for solar PV panels. For lots with a predominant north-south orientation the shallowest pitch may be best oriented to the east, taking into account afternoon overshadowing by large trees on neighbouring sites.
- Strong gable roof forms are encouraged to the first floor.
- Roof material must have an appropriate solar absorptance rating (no higher than 0.70) to assist the thermal performance of the building. Refer to Chapter 6 Material & Colour Palette for colours.

Entryways

- Entryways are to be visible, generous, sheltered and safe.
- The front door must face the primary street frontage.

Detached Houses & Semi-Detached Houses



Fig 10. Semi Detached Primary Frontage

Opportunities for skylights to south roof.

Operable shades/privacy screens.

Expressed separation between attached pairs provides opportunity for external drainage.

Ceilings can be flat or raked to follow roof. Attached pairs have identical overall building forms, with variation in articulation for visual interest.

Asymmetrical gable roofs with shallow pitch oriented to north to maximise solar panel capacity and opportunities for well-placed skylights. Minimum roof pitch to be 20 degrees.

Garage door setback 1 metre behind primary building frontage.

Roof garden over entry porch and garage entry to soften building form and maximise connection to landscape.

Balconies encouraged to face street frontages for public engagement and passive surveillance as well as maximising natural ventilation to habitable rooms.



Fig 11. Detached House Primary/Secondary Frontage

Roof garden over entry porch and garage entry to soften building form and maximise connection to landscape

Operable shades/privacy screens.

Reduce bulk via modulating first floor into smaller volumes with asymmetric gable or hipped roofs. Roof pitches are oriented to maximise solar panel capacity and opportunities for well-placed skylights. Minimum roof pitch to be 20 degrees.

Garage door setback 1 metre behind primary building frontage

Balconies encouraged to face street frontages for public engagement and passive surveillance as well as maximising natural ventilation to habitable rooms

Terrace Houses & Terrace Houses with Garage Studios



Fig 12. Terrace Primary Frontage

Asymmetric gable roofs with shallow pitch oriented to north to maximise solar panel capacity and opportunities for well-placed skylights. Minimum roof pitch to be 20 degrees.

Balconies encouraged to face street frontages for public engagement and passive surveillance as well as maximising natural ventilation to habitable rooms.

Corner terrace may need to step behind main terrace row to comply with site setbacks.

Operable shades/ privacy screens.

Balcony form projects beyond entry to modulate terrace row and provide shading/ weather protection to habitable rooms below.

Corner balconies to address secondary frontages.



Fig 13. Terrace with Garage Studio Secondary/Rear Frontage

Secondary frontages consistent with primary frontage, with habitable room windows and balconies addressing the public domain.

Corner balconies to address secondary frontages.

Asymmetric pitched studio roof to reflect terrace house roof. Roof pitches are oriented to maximise solar panel capacity and opportunities for well-placed skylights. Minimum roof pitch to be 20 degrees.

Balcony oriented to secondary frontage and laneway for public engagement/ passive surveillance, maximising natural ventilation to habitable rooms and capitalising on potential views to coastline.

Possible garage for studio.

Privacy screening and awning to studio access. Studio articulation for privacy, shading and weather protection are consistent with those used for the Terrace House.

6 | Material and Colour Palette

A cohesive material and colour palette helps to establish a strong neighbourhood identity—one that reflects the site’s history, its setting of the Illawarra Escarpment, and the community’s vision. It fosters a sense of connection and belonging among residents.

The materials, finishes and colours reflect muted natural earthy and bushland tones with low reflective qualities. The use of white or bright colours should be limited.

Individual lots within the site have different bushfire/Bushfire Attack Level (BAL) requirements. Ensure materials are selected appropriate to the bushfire requirements for your site.

Materials

- Ground floor walls are to be brick for the majority of the street facade and return a minimum of 3m around both sides of the building to avoid the front facade having a “stuck on” appearance.
- Retaining walls are to be brick, in either face brick, bagged or painted finish.
- A bagged or painted brick finish is encouraged for all or the majority of ground floor house walls.
- Face bricks must be selected in colours that complement the exterior colour palette and architectural style of the home. Light to mid tone bricks are encouraged.
- If paint finish is applied to both the ground and first floor walls, the colours must be different and complement each other as well as the roof material.

- While masonry is encouraged to the base of buildings to relate to the language and materials of the site’s past, it is to be limited to the ground floor only, extending to a logical height such as window sills, window/door heads, the underside of upper level balconies or may include an upper level planter bed.
- Lightweight cladding is to be a predominant material, particularly to the first floor.
- First floor walls are to have a weatherboard appearance in either a vertical or horizontal orientation. For clear finished timber weatherboards, preferred species are locally sourced (Australia or New Zealand) and a neutral (non-red) tone such as Blackbutt, Spotted gum, Tasmanian Oak or treated external-grade Tasmanian Oak. If grooved weatherboard panels are selected, environmentally friendly products such as Weathertex Weathergroove or Seflok are encouraged. Grooved fibre-cement products such as James Hardie Axon or Scyon can be used to achieve BAL compliance in bushfire areas. Metal wall cladding is not permitted.

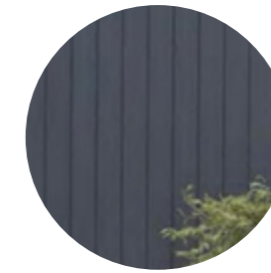
- Trim and accent colours should be used to provide contrast on smaller elements. Strong contrast in wall colours from light to dark is not permitted.
- Roof colours - lighter colours with a Solar Absorptance (SA) rating of less than 0.5 are encouraged to assist with the thermal performance of the home. Darker colours with a SA rating above 0.7 are not permitted.
- Garage door colour must be selected from the Bulli Colour Palette or be a colour that complements the house.
- Fencing and gates must be selected from the Bulli Colour Palette, or be a colour that complements the house.
- Driveways and separate pedestrian access within the lot must be selected from the Bulli Colour Palette or be a colour that complements the house.

Core Materials



Ground Floor Walls
Brick

Image reference of original brickwork on site



First Floor Walls
Weatherboards



Screening/Awnings
Timber battens



Roofing
Metal



Material & Colour Palette

Ground Floor & Retaining Walls - Brick For face brick, mortar colour is encouraged to match brick colour



Face brick
Bowral Bricks -
Chillingham White



Face brick
Bowral Bricks -
Simmental Silver



Face brick
PGH -
Naturals in Frost



Face brick
PGH -
Smooth in Flannel Grey



Painted brick



Bagged and painted brick

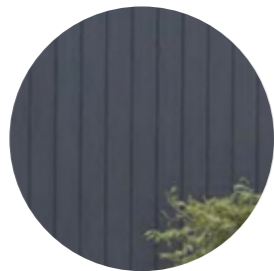


Sandstone
Option for garden retaining walls

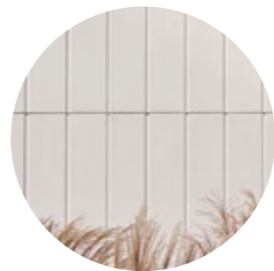
First Floor Walls - Weatherboards Board/groove spacing min 70mm, max 300 mm



Timber weatherboards (shiplap)
Clear finish, stained or painted..



Grooved Weathertex panel
cladding
Weathergroove or Seflok
Stained or painted



Grooved fibre-cement panel
cladding
James Hardie Axon or Linea
Painted

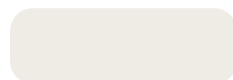


Timber battens
Clear finish, stained or painted

Screening/Balustrading

Wall Paint Colours

Codes reference Dulux colour range. Similar colours from alternative suppliers also permitted. Bright or white colours to be limited Codes reference Dulux colour range. Similar colours from alternative suppliers are also permitted



Natural White
SW1F4
Limited use



Feather Soft
SN3A1



White Duck
S16B1



Linseed
S15B3



Oyster Linen
S16B3



Tranquil Retreat
SN4G1



Silver Tea Set
SG6H1



Pozieres
SG5F3



Colorbond
Pale Eucalypt
Weatherboard walls and
timber screens only



Teahouse
SN4G6
Weatherboard walls and
timber screens only

Roofing



Custom Orb
Corrugated

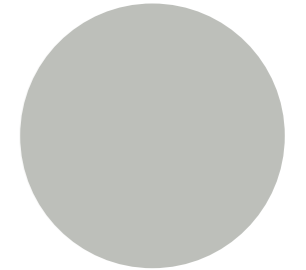


Snapseam
Concealed-fixed wide pan

Garage Doors



Weatherboards to match
First Floor Walls



Colorbond flat panels, colour
to match Roof

Driveways and Paving



Concrete - Light or mid-grey
colour with washed/exposed
aggregate



Recycled brick



Cobblestones



Crushed compacted gravel
(Deco granite)

Roofs, Windows, Trims/Awnings, Garage Doors and Fences Colours

Colorbond finishes shown, can be matched for painted timber finishes. Dark roofs with a Solar Absorptance (SA) rating greater than 0.70 are not permitted



Natural White
Windows, awnings or front
fences only



Surfmist



Southerly



Shale Grey



Bluegum



Paperbark



Evening Haze



Dune



Gully



Jasper



Windspray



Wallaby



Basalt



Woodland grey
Not permitted for roofs due
to high SA



Pale Eucalypt



Cottage Green
Not permitted for roofs
due to high SA

7 | Landscaping

State Environmental Planning Policy (Exempt and Complying Development Codes) 2008 [NSW]

The minimum landscape area that must be provided on a lot

Lot Area(m ²)	CDC
200m ² - 300m ²	10% Landscaped area
300m ² - 450m ²	15% Landscaped area
450m ² - 600m ²	20% Landscaped area
600m ² - 900m ²	30% Landscaped area

Each landscape area to have a minimum width and length of 1.5m

The minimum landscape area must be:

- If the lot width measured at the building line is 18m or less - 25% of the area forward of the building line to be landscaped,
- If the lot width measured at the building line is more than 18m - 50% of the area forward of the building line must be landscaped
- 50% of the minimum landscaped area must be located behind the building line

Wollongong City Council Development Control Plans

The minimum landscape area that must be provided on a lot

Lot Area(m ²)	DCP
Less than 600m ²	20% Landscaped area
600m ² to 900m ² - 120m ²	30% Landscaped area
Greater than 900m ² - 210m ²	40% Landscaped area

At least 50% of the landscaped area must be located behind the building line to the primary road boundary

The minimum landscaped area required is based on lot size as outlined above. Landscape area is a permeable area capable of growing trees, shrubs, groundcovers and / or lawn and does not include any building, structure or hard paved area.

For development proposing a dwelling, a minimum of one (1) semi mature small to medium evergreen or deciduous tree (minimum pot size 45 litre) is to be provided within the landscape area. This tree is to be planted at least 3m from any existing or proposed dwelling or structure present onsite. No additional tree is required for a secondary dwelling.



Manor House (Lot 26)

1.2m high fence for 50% of the building depth / lot length. Softening chamfered boundaries on corner lots is encouraged through curved fencing

Corner lot to include a minimum of one additional tree within the front setback

Planting encouraged between boundary and footpath to soften boundary/fencing. Maximum height of planting to be 600mm

Natural turf is to be laid on all properties. Synthetic turf is not permitted

Natural wood, bark and leaf mulch permitted as garden mulch. No coloured pebbles or coloured mulch is permitted in garden beds

Clotheslines and fixtures eg. bins, hot water systems etc are to be installed behind front setback and where possible, not visible from street or public domain

1.8m high rear/side boundary fence

Hedge planting to side boundary

Pedestrian entry path from the parking area to the rear entry foyer as required

1.8m high side access fence / gate for 50% of the building depth/lot length to match front fencing style. Side fence should not extend beyond the front building line

Driveways, crossovers, and footpaths in the public road reserve to be off-white concrete with broom finish

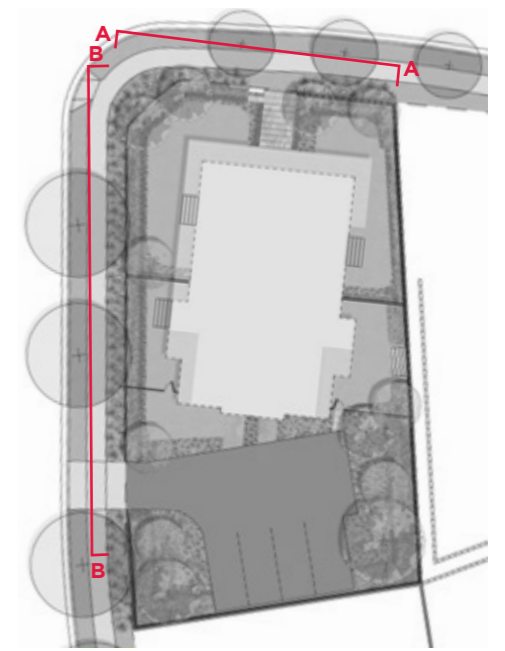
Private driveways and pedestrian access on the lot within the property boundary to be light or mid grey with a washed aggregate finish

Services concealed from the street and living areas, suitably screened to blend in with the garden

Pedestrian entry from front boundary to the front entry foyer. Native groundcovers between steppers

Min 800mm planting to front boundaries for screening

Max 1.2m high front fence. Refer to fence detail



Key Plan

Max 1.2m high front fence. Refer to fence detail



Fig 14. Manor Home Elevation AA

For secondary road frontages, 1.2m high fence to match front fencing style for 50% of the building depth / lot length, whichever is lesser. 1.8m high fence for remainder of secondary boundary



Fig 15. Manor Home Elevation BB

Detached Home (Lot 25)

Natural wood, bark and leaf mulch permitted as garden mulch. No coloured pebbles or coloured mulch is permitted in garden beds

Clothesline and fixtures eg. bins, hot water systems etc are to be installed behind front setback and where possible, not visible from street or public domain

Natural turf is to be laid on all properties. Synthetic turf is not permitted

Climbers on side fence at window

Planting encouraged between boundary and footpath to soften boundary / fencing. Maximum height of planting to be 600mm

1.8m high side access fence/ gate to match front fencing style. Side fence should not extend beyond the front building line

Private driveways and pedestrian access on the lot within the property boundary to be light or mid grey with a washed aggregate finish

Hedge planting to side boundaries

Driveways, crossovers, and footpaths in the public road reserve to be off-white concrete with broom finish

Pedestrian entry from front boundary to the front entry foyer. Native groundcovers between steppers

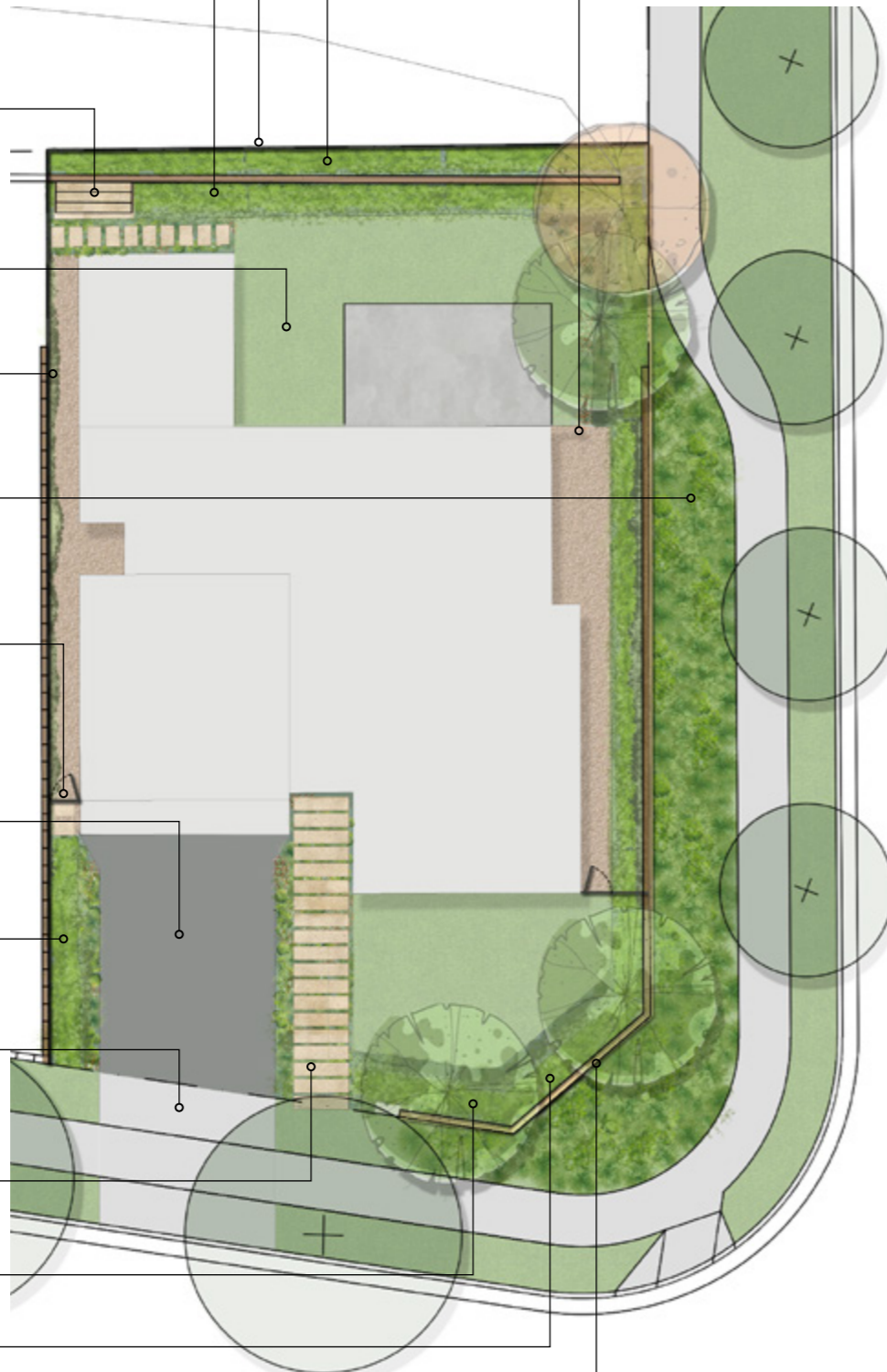
Corner lot to include a minimum of one additional tree within the front setback

Min 800mm planting to front boundaries for screening

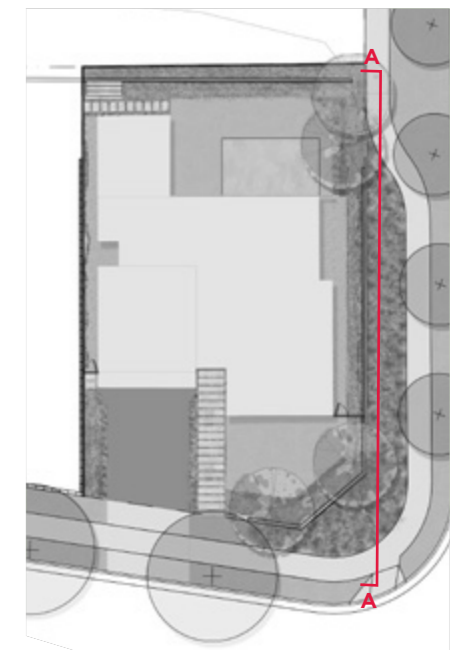
1.8m high rear/side boundary fence

Pervious paving to be used for side access

Planting to obscure retaining walls



1.2m high front fence above retaining walls to extend 50% of the building depth / lot length. 1.8m high side fence for the remainder of the secondary boundary. Refer to fence detail



Key Plan

For secondary road frontages, 1.2m high fence above retaining walls to match existing front fencing style for 50% of the building depth / lot length, whichever is the lesser. 1.8m high side fence for remainder of secondary boundary.

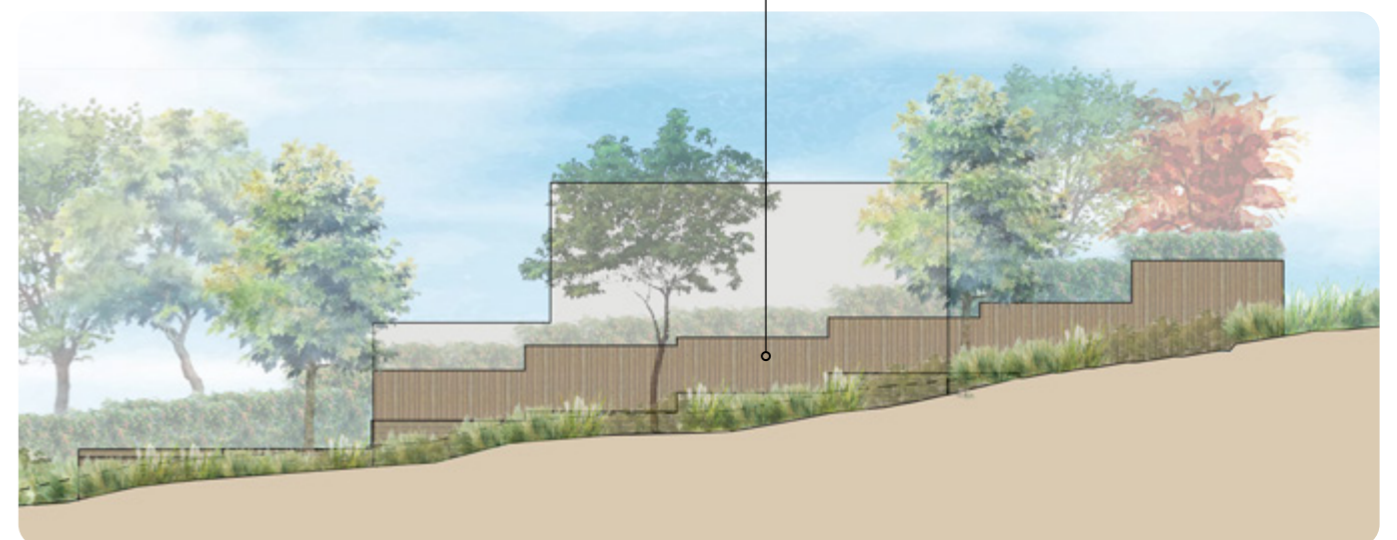


Fig 16. Detached Dwelling Elevation AA to Hospital Road

Semi-Detached Home

Driveways, crossovers, and footpaths in the public road reserve to be off-white concrete with broom finish

Pedestrian entry from front boundary to the front entry foyer. Native groundcovers between steppers

1.8m high side access fence/gate to match front fencing style. Side fence should not extend beyond the front building line, ideally set behind building line by 1m min. to allow for meter boxes and front garden to extend around building corner.

Pervious paving to be used for side access

Climbers on side fence at windows

Clotheslines and fixtures eg. bins, hot water systems etc are to be installed behind front setback and where possible, not visible from street or public domain

1.8m high rear/side boundary fence

Natural wood, bark and leaf mulch permitted as garden mulch. No coloured pebbles or coloured mulch is permitted in garden beds

Hedge planting to side boundaries is encouraged

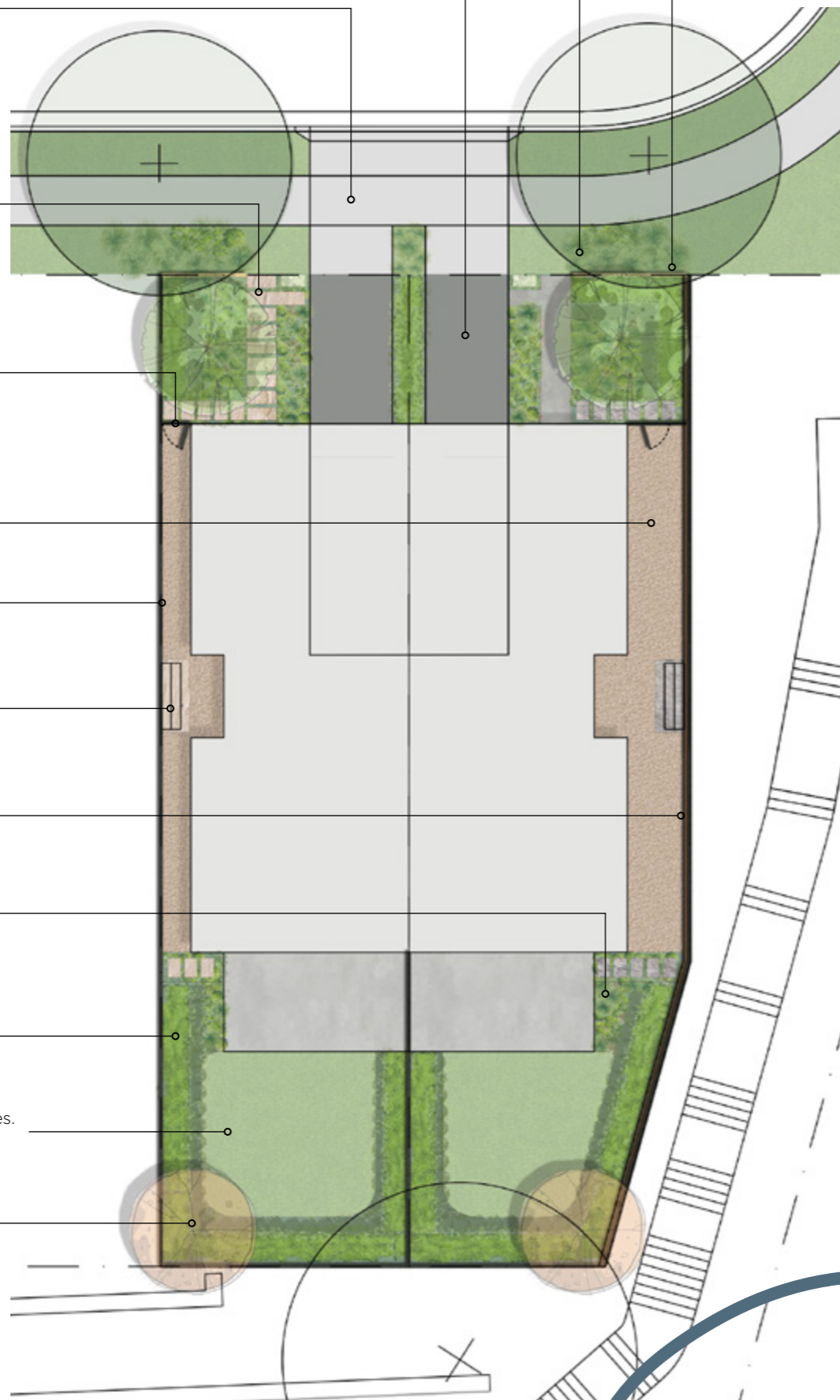
Natural turf is to be laid on all properties. Synthetic turf is not permitted

Lot to include a minimum of one tree within the front setback and one tree in the backyard

Planting encouraged between boundary and footpath to soften boundary / fencing. Maximum height of planting to be 600mm

Private driveways and pedestrian access on the lot within the property boundary to be light or mid grey with a washed aggregate finish

Max 1.2m high front fence. Refer to fence detail

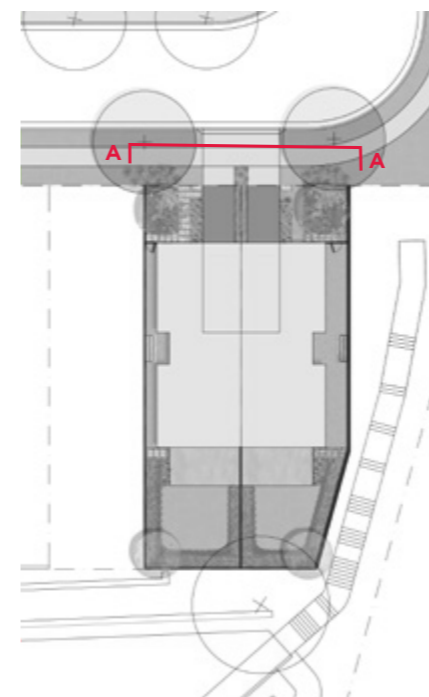


Max 1.2m high front fence. Refer to fence detail

Planting to separate driveways



Fig 17. Semi-Detached Dwelling Elevation AA to internal Road



Key Plan

Terrace Home/Terrace Home with Studio Flat

Pedestrian entry from front boundary to the front entry foyer. Native groundcovers between steppers

Corner lot to include a minimum of one additional tree within the front setback and one tree in the backyard

Natural turf is to be laid on all properties. Synthetic turf is not permitted

1.2m high side fence for 50% of the building depth / lot length, whichever is the lesser.

Pervious paving to be used for side access

Climbers installed on side fence

Hedge planting to side boundaries is encouraged. Natural wood, bark and leaf mulch permitted as garden mulch. No coloured pebbles or coloured mulch is permitted in garden beds

Clotheslines and fixtures eg. bins, hot water systems etc are to be installed behind front setback and not visible from street

1.8m high vertical side and rear slat fence for 50% of the building depth / lot length to match front fencing style. Side fence should not extend beyond the front building line

1.8m high rear side fence measured above the ground level to private open space

For steeply sloping sites with a significant level change between the house, private open space and/or the garage, incorporate a raised planter along garage or house walls to break up perceived bulk when viewed from the private open space

Private driveways and pedestrian access on the lot within the property boundary to be light or mid grey with a washed aggregate finish

Softening chamfered boundaries on corner lots is encouraged through curved fencing

Driveways, crossovers, and footpaths in the public road reserve to be off-white concrete with broom finish

Planting to separate driveways with vertical planter wires to garage walls

Max 1.2m high front fence above retaining wall. Refer to fence detail



Key Plan



Fig 18. Terrace Housing (including Studio Flat) Elevation AA to internal Road

Planting Strategy

Landscaping is an important element of any dwelling design as it can enhance the streetscape appeal, can add value to the property, creating a welcoming atmosphere and a consistency to the overall streetscape.

The area between the front building line of the dwelling and the front property boundary must contain a minimum of 50% soft landscape, via a mix of natural turf and gardens beds. The careful selection of drought resistant planting in your landscaping can help to reduce water consumption and also ensure that the natural beauty of your home is maintained in times of low rainfall.

Plant selection should follow the principles set out below. Planting in front gardens should use the approved Indicative Plant List offering a mixture of both exotic and native species to create a natural looking garden of colours throughout the year.

Vegetation should incorporate a variety of types and sizes to provide diversity and visual interest within your front garden. A minimum of 2 feature trees (min 25-35L) are to be provided, one in the front garden and one in the back garden.

Deciduous trees are recommended to provide good shade to your home in summer (reducing heat gain) while allowing sunny yards in winter (improving heat gain). Providing sufficient tree canopy helps reduce urban heat island effect within your neighbourhood, whilst also shading windows and roofs, providing improvement to your local microclimate.

Low mow or no-mow grasses and groundcovers are encouraged as strips between driveways and side fencing as it does not block vehicle and pedestrian sight-lines and is low maintenance.

Wetting Agents and Mulch are encouraged over soil to minimize evaporation, prevent soil crusting and reduce weed growth.

Indicative Plant List - Trees

COMMON NAME	MATURE HEIGHT	NATIVE (N) EXOTIC (E)
Callistemon species	6m	N
Crab Apple	4-6m	E
Crepe Myrtle	3-8m	E
Dwarf Evergreen Magnolia	3-8m	E
Dwarf Flowering Gum	3-6m	N
Flowering Pear	6-10m	E
Illawarra Flame	10m	N
Ivory Curl	6-10m	N
Lilly Pilly	3-8m	N
Maple species	6-10m	
Poached Egg Camellia	3-6m	E
Water Gum	12m	N
White Cloud Tree	3-8m	N

Indicative Plant List - Shrubs

COMMON NAME	MATURE HEIGHT	NATIVE (N) EXOTIC (E)
Banksia Species	0.5-2m	N
Bottle Brush Species	1-3m	N
Box species	0.5-2m	E
Coastal Rosemary	0.5-2m	N
Correa	1m	N
Cushion Bush	0.5m	N
Emu Bush	1-2m	N
Gardenia	0.5-1m	E
Lilly Pilly Species	0.5-2m	N
Metrosideros	1-2m	E
Salt Bush	0.5-1m	N

Indicative Plant List - Hedges

COMMON NAME	MATURE HEIGHT	NATIVE (N) EXOTIC (E)
Callistemon	2-3m	N
Camellia varieties	2-3m	E
Japanese Box	1-2m	E
Lilly Pilly	2-3m	N
Metrosideros	2-3m	E
Pittosporum	2-3m	E
Sweet Viburnum	2-3m	E

Indicative Plant List - Grasses

COMMON NAME	MATURE HEIGHT	NATIVE (N) EXOTIC (E)
Blue Fescue	0.2-0.3m	N
Dianella	0.3-1m	E
Kangaroo Paw	1-1.5m	N
Liriope	0.3-0.6m	N
Lomandra species	0.6-0.9m	N
Swamp Fountain Grass	0.6-0.9m	N
Tall Sedge	0.8-1.2m	N
Tussock Grass	0.6-0.8m	N

Indicative Plant List - Groundcovers

COMMON NAME	MATURE HEIGHT	NATIVE (N) EXOTIC (E)
Birthday Candles	0.3-0.6m	N
Cousin It	0.2-0.5m	N
Creeping Boobialla	0.2-0.3m	N
Creeping Rosemary	0.3-0.6m	N
Everlasting Daisy	0.4-0.8m	N
Fairy Fan-Flower	0.1-0.3m	N
Honey Myrtle	1-1.5m	N
Kidney Weed	0.2-0.3m	N
Native Viola	0.05-0.15m	N
Prostrate Grevillea	0.2-0.3m	N
River Wattle	0.9-1m	N
Trailing Pratia	0.05-0.1m	N

Indicative Plant List - Climbers

COMMON NAME	MATURE HEIGHT	NATIVE (N) EXOTIC (E)
Bower Plant	3m	E
Guinea Flower	2m	N
Purple Coral Pea	2m	N
Rocktrumpet	3m	E
Star Jasmine	3m	E
Snake Vine	3m	N

Indicative Plant List - Green Roof

COMMON NAME	MATURE HEIGHT	NATIVE (N) EXOTIC (E)
Creeping Booblia	0.2-0.3m	N
Creeping Rosemary	0.3-0.6m	N
Cousin it	0.2-0.5m	N
Flax Lily	0.3-0.9m	N
Kidney Weed	0.2-0.3m	N
Mat Rush	1m	N
Sedum	0.2-0.6m	E
Tussock Grass	0.6-0.8	N

Indicative Plant List - Turf

COMMON NAME	NATIVE (N) EXOTIC (E)
Eureka Kikuyu	E
Nullarbor Couch	E
Soft Leaf Buffalo	E
Zoysia	E

Indicative Plant List - Trees



Acer species



Coral Bark Maple



Callistemon species

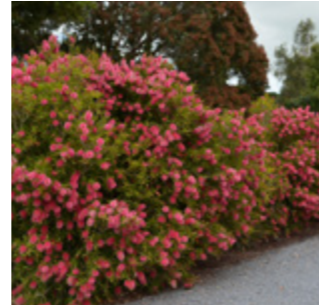


Crab Apple

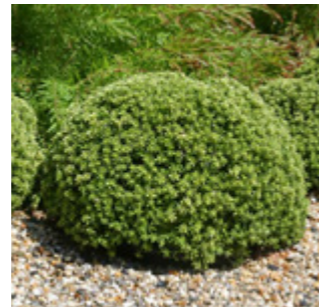
Indicative Plant List - Shrubs



Banksia Species



Bottle Brush Species



Coastal Rosemary



Emu Bush

Indicative Plant List - Groundcovers



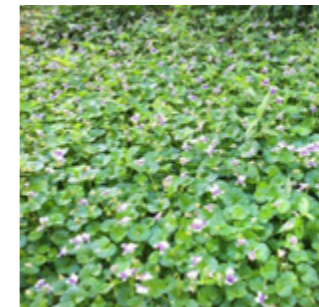
Banksia Birthday Candles



Boobialla



Cousin It



Native Viola

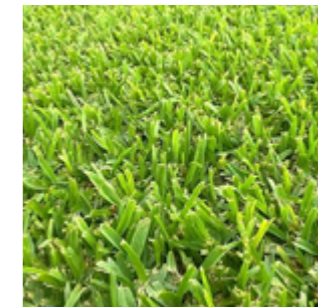
Indicative Plant List - Turf



Eureka Kikuyu



Nullarbor Couch



Soft Leaf Buffalo

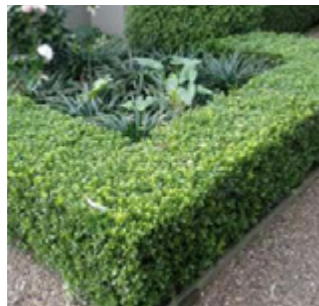


Zoysia

Indicative Plant List - Hedges



Camellia varieties



Japanese Box



Lilly Pilly



Sweet Viburnum

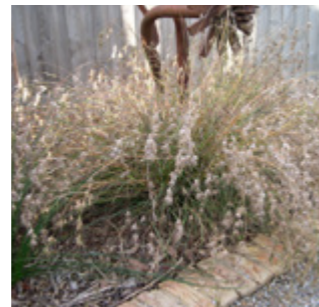
Indicative Plant List - Grasses



Blue Fescue



Flax Lily



Kangaroo Grass

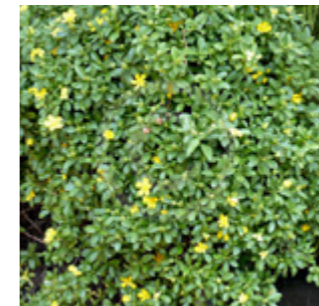


Mat Rush

Indicative Plant List - Climbers



Bower Plant



Guinea Flower

Indicative Plant List - Green Roof



Kidney Weed



Creeping Rosemary

8 | Street Amenity - Fencing, Driveways, Garages & Fixtures

Front Fencing

Any fence located along the front boundary forward of the Primary Road Frontage building line must comply with the following:

- Have a maximum height of 1.2m. Fencing can follow the slope of the ground along the boundary, or can be constructed horizontally, stepping to suit the ground slope. For stepped fences on sloping sites, no part of the fence is to be higher than 1.5m above natural ground level.
- Is visually permeable, and consist of a combination of masonry (face brick, bagged or painted) and vertical timber (painted or clear finished) or metal (painted or powdercoated) slats and should be open for at least 50% of the front boundary width. Colorbond solid metal panel fencing is not permitted.
- Vertical slats are contemporary in style with a square, mitred or pointed profile. Slats shall include suitable separation to ensure visibility through the fence.

- Where vertical slats are integrated into a masonry wall, the masonry base is to be no more than 0.6m high.
- Masonry piers of a maximum dimension of 0.6m wide x 0.35m deep x 1.2m high can be used to articulate entry gates and contain integrated letterboxes.
- Retaining walls are softened by planting.

Fencing Along Corner Lots

- Fencing forward of the building line is to be consistent with the front fencing with a maximum height of 1.2m.
- Fencing along the secondary road frontage of corner lots should, if included to the primary road frontage, continue in the height and style of the front fence for at least 50% of the building depth or 50% of the lot length, whichever is the lesser. Behind this, fencing is to be a max height of 1.8m, with materiality consistent with the front fence or painted timber palings.

- Colorbond fencing is not permitted along secondary frontage of corner lots.

Side and Rear Fencing

- Have a maximum height of 1.8m measured above natural ground level on the high side of the boundary. Fencing can follow the slope of the ground along the boundary, or can be constructed horizontally, stepping to suit the ground slope. For stepped fences on sloping sites, no part of the fence is to be higher than 2.2m above natural ground level.
- Be constructed of timber palings or Colorbond.
- Dividing fences between terraces are encouraged to be masonry to match the ground floor house walls due to level changes across these lots. Fence height should be 1.8m above the floor level of the Private Open Space area to maintain neighbour privacy.



Fig 19. Contemporary interpretation of traditional picket fence - painted vertical timber slat front fence with mitred tops and bottoms, painted steel frame behind pickets in a dark colour to disappear into landscape. Masonry entry pillar with letterbox and street number.



Fig 20. Metal slat front fence

Letterbox and Street Numbering

- Letterboxes can be freestanding, on post or integrated inside an entry masonry pier as part of the front fencing.
- Letterbox finish should match or complement the front fence. High quality and durable materials should be used.
- A good quality street number should be clearly displayed above or below the letterbox. Integrated lighting is encouraged that is low-glare and defines the front entry.

Driveways and Entry Paths

- Driveways should be generally setback 900mm from a lot boundary to allow for planting between the boundary and the driveway. For dual occupancies, a 600mm wide planting strip must be provided between driveways.
- Driveways and entry paths should be finished with materials that blend or complement the finishes of the dwelling. The use of natural materials is strongly encouraged.

- Acceptable finishes for driveways and paths include concrete in a light to medium tone with a washed/exposed aggregate, stone or brick pavers, or gravel. Refer to Material and Colours Palette.
- Driveways and paths must not be finished with stencilled concrete, stamped patterns, plain concrete or white coloured concrete.

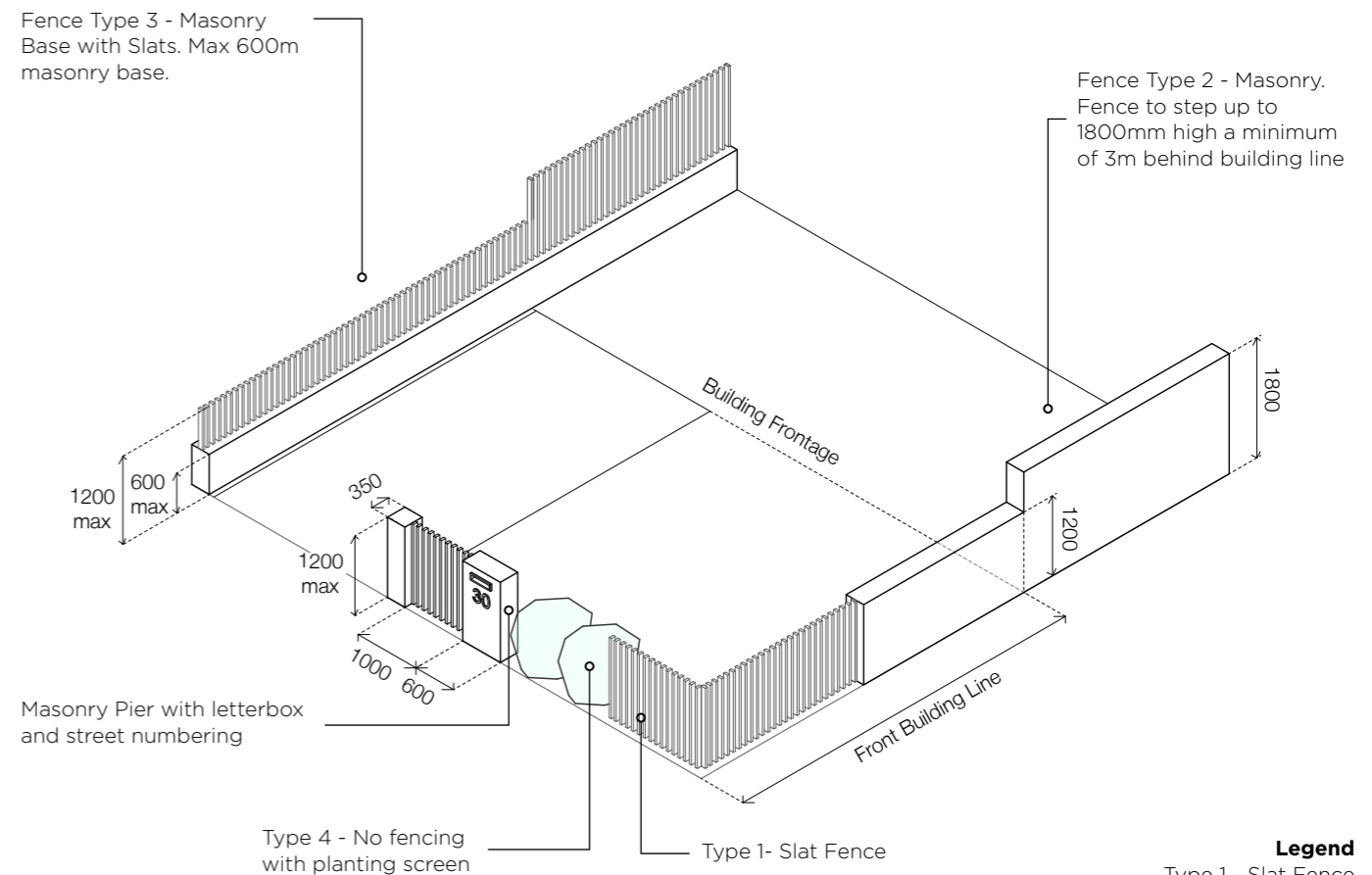


Fig 21. Fencing Types

- Legend**
- Type 1 - Slat Fence
 - Type 2 - Masonry Fence
 - Type 3 - Masonry Base with Slats
 - Type 4 - No Fence with Planting Screen

Fig 22. Laneway View

Garage and Garage Doors

- Garages must be integrated with the overall design of the house with materials and finishes that are consistent and complement those of the house.
- Where garages are accessed via the Primary or Secondary Street, garage doors are to be inset a minimum of 1m from the front building line, and setback a minimum of 5.5m from the primary street boundary (not applicable for laneway garages).
- Where garages are accessed via the laneway, refer to laneways section below.
- Garage doors are to be simple and contemporary in design with no windows. Roller doors are not permitted.

Fixtures

- Air conditioners (evaporative and condenser units), hot water services, clothes lines, bins, meters, satellite dishes, rainwater tanks, spa pumps and solar pool heating must not be visible from the street.
- Plumbing waste and vent pipework must be concealed and vent pipes not located on the front facade.
- Outdoor lighting is encouraged to be Night Skies compliant to create wildlife friendly gardens.

Laneways

- Garage alignment must be staggered across adjacent lots to avoid one long wall facing the laneway.
- Boundary planting must be incorporated to both sides of driveways, consolidated where possible to maximize their size. A total planting width of 500mm is required for each lot, which can be divided into smaller planter beds that are each at least 200mm wide.
- Vertical planter wires fixed to garage walls and over garage openings are encouraged to maximize planting opportunities within the laneway.
- Fixtures and bin storage must not be visible from the street.
- Opportunities for seating or other public gestures, in addition to maximizing landscaping, are encouraged to improve the amenity and appeal of the laneway.



Images are for illustrative purposes and are indicative only.

9 | Sustainable Design Requirements

Guidelines

Small differences to appliances and fittings in your home can help achieve increased thermal comfort, lower energy consumption, and reduce power bills for households. These choices not only contribute to a healthier environment but also enhance the overall value and appeal of your home, making it a smart investment for the future.

Install at least two of the following in your home:

- Solar PV System on Roof
- Battery Storage
- EV Charging infrastructure to allow for future installation
- Rainwater capture and re-use
- Heat pump hot water systems
- Using low embodied carbon materials

Recommended Standards for Appliances include:

- Install 100% Electric Appliances
- Minimum 4 Star rating for fridge, dishwasher, washer, dryer
- Minimum 5 Star WELS rating for all plumbing appliances, fittings and fixtures

You should ensure:

- You work with your builder to achieve a min. Basix 'Energy' score of 90 and 'Water' score of 60 to obtain Design Review Panel approval.
- Your chosen building materials should achieve a 'Low' BASIX Material rating and come from renewable, recycled, local and/or sustainable sources;
- Your chosen building materials should meet best practice Solar Reflective Index (SRI) minimums.
- Your main living areas should have a sunny aspect generally facing north.
- All north facing windows should be shaded from summer sun while allowing winter sun to penetrate into your house. Where overhead shading is impractical or architecturally undesirable should have alternative controls, e.g. vertical angled screens, trees, or high performance ('low-e') glass, bearing in mind the lower sun angle. Toned or tinted glass is not a desirable option.
- Doors (including sliding doors) to your back garden must be protected from weather by an overhang or structure like a roofed pergola.
- Good cross-flow ventilation is achieved by having open windows on two walls each with different orientations. Ceiling fans must be installed in all bedrooms and in at least one living room.
- Consider installing a dedicated AC circuit or a 3-phase conduit to the garage to allow for future installation of type 2 electric vehicle chargers.
- Use energy and water efficient fittings, fixtures, appliances and LED lighting to reduce consumption and energy costs.

10 | Bushfire Requirements

Guidelines

Your home may be located on bushfire prone land and must comply with the NSW Rural Fire Service publication 'Planning for Bush Fire Protection' (PBP) and Australian Standard 3959 'Construction of Buildings in Bushfire-Prone Areas' (AS3959).

Refer to the NSW rural fire service website for further information at: www.rfs.nsw.gov.au.

You should ensure:

You check your Building Envelope Plan and Wollongong City Council's requirements for land identified as bushfire prone land. The Building Envelope Plan will nominate the extent of the Asset Protection Zone (APZ) and Bushfire Attack Levels (BAL) rating required to be met for any new homes in these locations. These construction standards must be applied when designing your home.

*Note: Greater setbacks may apply subject to bushfire regulations as noted on your Building Envelope Plan in your Contract of Sale.

Contact details

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Parramatta NSW 2150



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