

# GARDEN SUBURB AFFORDABLE LIVING

LOT 67/68 MYALL ROAD HILLSBOROUGH NSW 2289  
CIVIL ENGINEERING PACKAGE



LOCALITY PLAN

IMAGE SOURCE : METROMAPS

## DRAWING LIST

DRG No.	DRAWING TITLE
DA-C01.01	COVER SHEET, DRAWING LIST AND LOCALITY PLAN
DA-C01.31	GENERAL ARRANGEMENT PLAN
DA-C02.01	EROSION AND SEDIMENT CONTROL PLAN - SHEET 1
DA-C02.02	EROSION AND SEDIMENT CONTROL PLAN - SHEET 2
DA-C02.11	EROSION AND SEDIMENT CONTROL DETAILS
DA-C04.01	CIVIL WORKS PLAN - GROUND SHEET 1
DA-C04.02	CIVIL WORKS PLAN - GROUND SHEET 2
DA-C04.03	CIVIL WORKS PLAN - BASEMENT SHEET 1
DA-C04.04	CIVIL WORKS PLAN - BASEMENT SHEET 2

VERIFIER: C-PIPER  
 JOB MANAGER: C-PIPER  
 DESIGNED: C-PIPER  
 DRAWN: D. MAVROUDIS

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REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE	CLIENT	ARCHITECT	SCALE	PROJECT	DRAWING TITLE	PROJECT NUMBER	DRAWING NUMBER	REVISION
A	ISSUED FOR REVIEW	RK	-	RK	11/7/2025		 Architecture + Urban Projects	SCALE 1:2000@ A1 	 Newcastle Level 1, 215 Pacific Hwy, Charlestown NSW 2290 Ph (02) 4943 1777 Email newcastle@northrop.com.au ABN 81 094 433 100	GARDEN SUBURB AFFORDABLE HOUSING LOT 67 / 68 MYALL ROAD HILLSBOROUGH	CIVIL ENGINEERING PACKAGE	250168	DA-C01.01 A
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CIVIL WORKS PLAN - SHEET 1  
EROSION AND SEDIMENT CONTROL PLAN - SHEET 1

CIVIL WORKS PLAN - SHEET 2  
EROSION AND SEDIMENT CONTROL PLAN - SHEET 2

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DRAWN: D. MAVROUDIS    DESIGNED: C. PIPER    JOB MANAGER: C. PIPER    VERIFIER:

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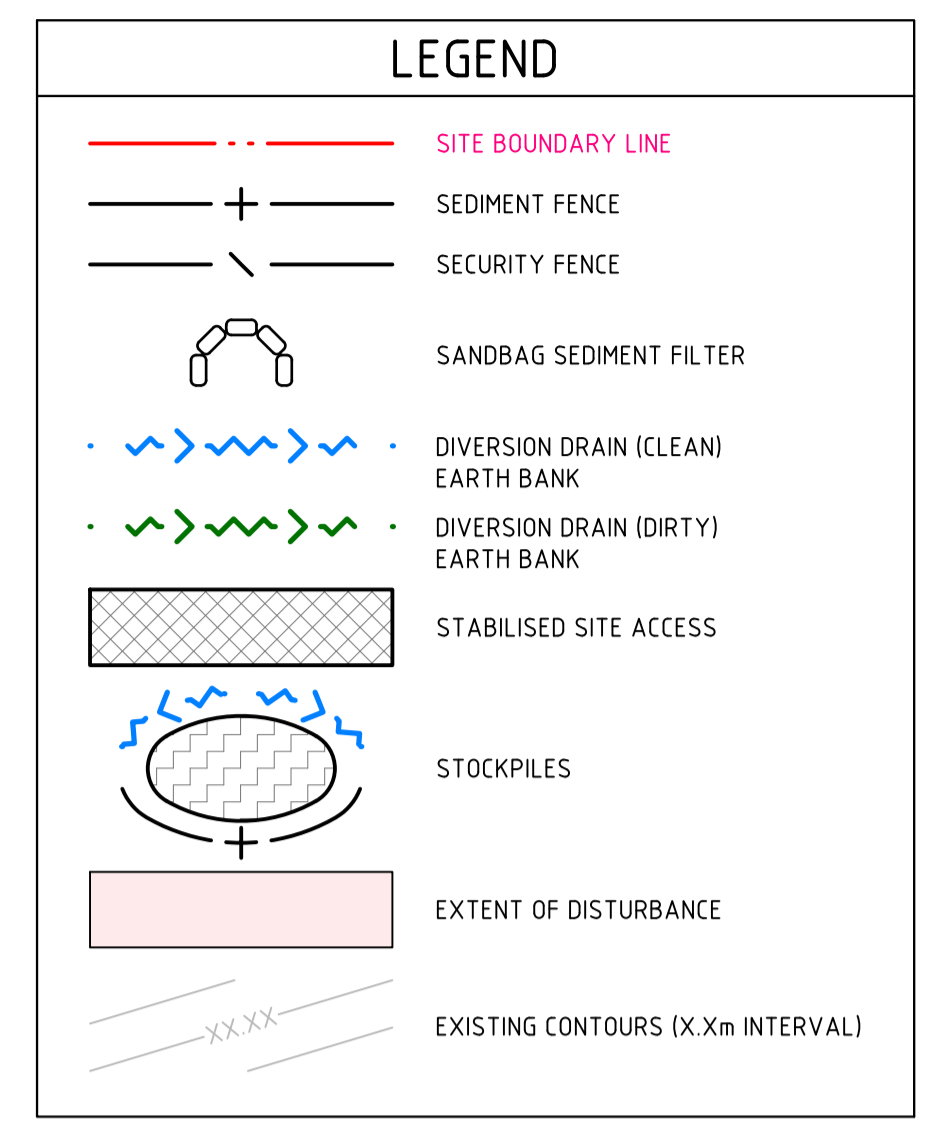
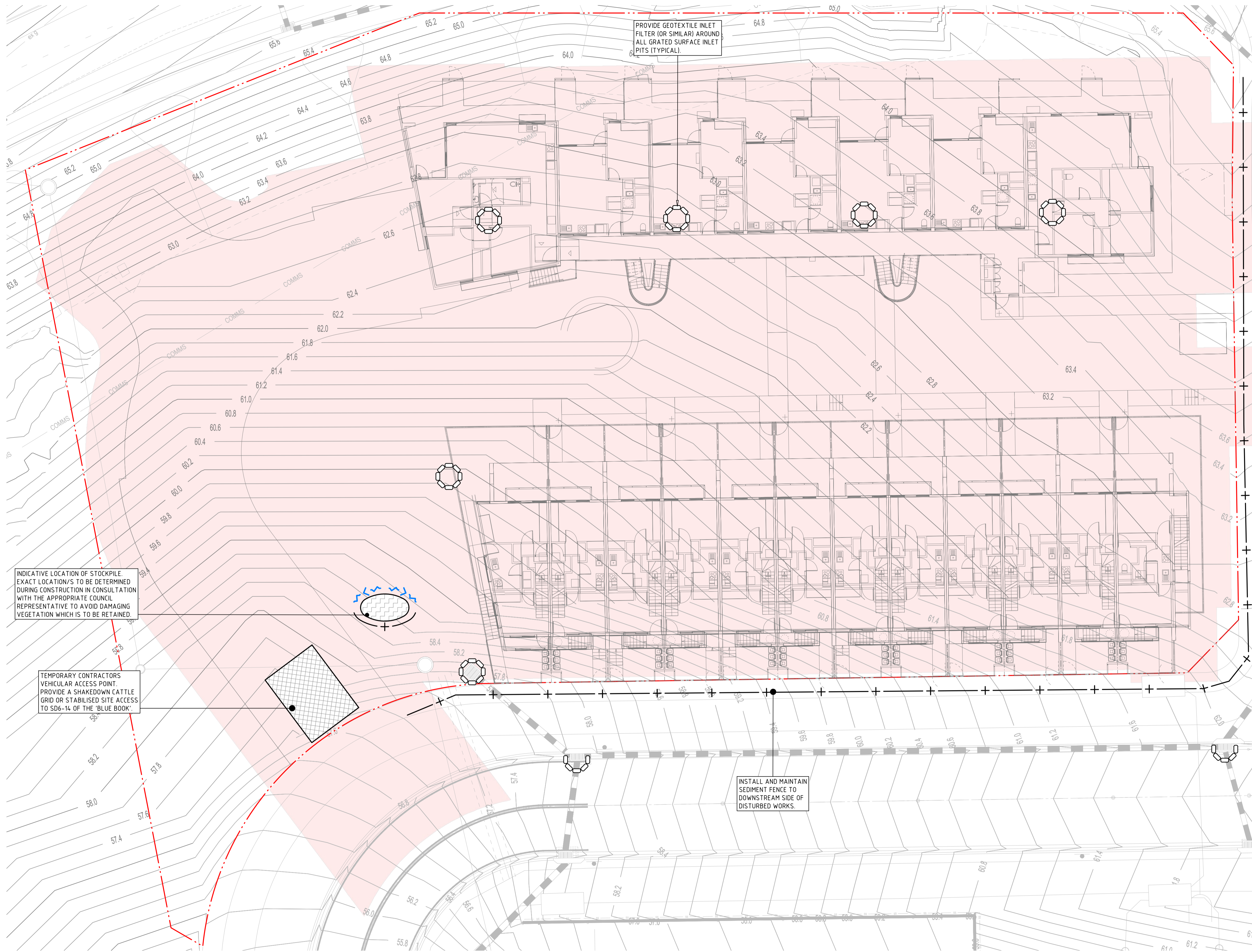
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PROJECT  
**GARDEN SUBURB AFFORDABLE HOUSING**  
 LOT 67 / 68 MYALL ROAD  
 HILLSBOROUGH

DRAWING TITLE  
**CIVIL ENGINEERING PACKAGE**  
**GENERAL ARRANGEMENT PLAN**

PROJECT NUMBER  
**250168**  
 DRAWING NUMBER  
**DA-C01.31**  
 REVISION  
**A**  
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- ### NOTES
- ALL EROSION AND SEDIMENTATION CONTROL MEASURES MUST BE APPROPRIATE FOR THE SEDIMENT TYPE(S) OF THE SOILS ON-SITE, IN ACCORDANCE WITH THE 'BLUE BOOK' (MANAGING URBAN STORMWATER - SOILS AND CONSTRUCTION, LANDCOM, 2004), OR OTHER CURRENT RECOGNISED INDUSTRY STANDARDS FOR EROSION AND SEDIMENT CONTROL FOR AUSTRALIAN CONDITIONS. THIS INCLUDES SEDIMENT TRAPS AND LINING OF CHANNELS.
  - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING A DETAILED WRITTEN RECORD OF ALL EROSION AND SEDIMENT CONTROLS ON-SITE DURING THE CONSTRUCTION PERIOD. THIS RECORD SHALL BE UPDATED ON A DAILY BASIS AND SHALL CONTAIN DETAILS ON THE CONDITION OF CONTROLS AND ANY/ALL MAINTENANCE, CLEANING AND BREACHES. THIS RECORD SHALL BE KEPT ON-SITE AT ALL TIMES AND SHALL BE MADE AVAILABLE FOR INSPECTION BY THE PRINCIPAL CERTIFYING AUTHORITY AND THE SUPERINTENDENT DURING NORMAL WORKING HOURS.
  - INSTALL SEDIMENT PROTECTION FILTERS ON ALL NEW AND EXISTING STORMWATER INLET PITS IN ACCORDANCE WITH EITHER THE MESH AND GRAVEL INLET FILTER DETAIL SD6-11 OR THE GEOTEXTILE INLET FILTER DETAIL SD6-12 OF THE 'BLUE BOOK'.
  - ESTABLISH ALL REQUIRED SEDIMENT FENCES IN ACCORDANCE WITH DETAIL SD6-8 OF THE 'BLUE BOOK'.
  - INSTALL SEDIMENT FENCING, OR OTHER SEDIMENT CONTROL DEVICES, AROUND INDIVIDUAL BUILDING ZONES/AREAS AS REQUIRED AND AS DIRECTED BY THE SUPERINTENDENT OR APPROPRIATE COUNCIL OFFICER.
  - ALL TRENCHES INCLUDING ALL SERVICE TRENCHES AND SWALE EXCAVATION SHALL BE SIDE-CAST TO THE HIGH SIDE AND CLOSED AT THE END OF EACH DAYS WORK.
  - THE CONTRACTOR SHALL ENSURE THAT ALL VEGETATION (TREE, SHRUB AND GROUND COVER) WHICH IS TO BE RETAINED SHALL BE PROTECTED DURING THE DURATION OF CONSTRUCTION.
  - ALL VEGETATION TO BE REMOVED SHALL BE MULCHED ON-SITE AND SPREAD/STOCKPILED AS DIRECTED BY THE SUPERINTENDENT.
  - STRIP TOPSOIL IN AREAS DESIGNATED FOR STRIPPING AND STOCKPILE FOR RE-USE AS REQUIRED. ANY SURPLUS MATERIAL SHALL BE SPREAD ON-SITE AS DIRECTED BY THE SUPERINTENDENT OR REMOVED FROM SITE AND DISPOSED OF IN ACCORDANCE WITH EPA GUIDELINES.
  - CONSTRUCT AND MAINTAIN ALL MATERIAL STOCKPILES IN ACCORDANCE WITH DETAIL SD4-1 OF THE 'BLUE BOOK' (INCLUDING CUT-OFF SWALES TO THE HIGH SIDE AND SEDIMENT FENCES TO THE LOW SIDE).
  - ENSURE STOCKPILES DO NOT EXCEED 2.0m HIGH. PROVIDE WIND AND RAIN EROSION PROTECTION AS REQUIRED IN ACCORDANCE WITH THE 'BLUE BOOK'.
  - PROVIDE WATER TRUCKS OR SPRINKLER DEVICES DURING CONSTRUCTION AS REQUIRED TO SUPPRESS DUST.
  - ONCE CUT/FILL OPERATIONS HAVE BEEN FINALIZED ALL DISTURBED AREAS THAT ARE NOT BEING WORKED ON SHALL BE RE-VEGETATED AS SOON AS IS PRACTICAL.

DRAWN: D. MAVROUDIS  
 DESIGNED: C. PIPER  
 JOB MANAGER: C. PIPER  
 VERIFIER:

**NOT FOR CONSTRUCTION**

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ARCHITECT

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SCALE 1:150 @ A1

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PROJECT

**GARDEN SUBURB AFFORDABLE HOUSING LOT 67 / 68 MYALL ROAD HILLSBOROUGH**

DRAWING TITLE

**CIVIL ENGINEERING PACKAGE**

**EROSION AND SEDIMENT CONTROL PLAN - SHEET 1**

PROJECT NUMBER

**250168**

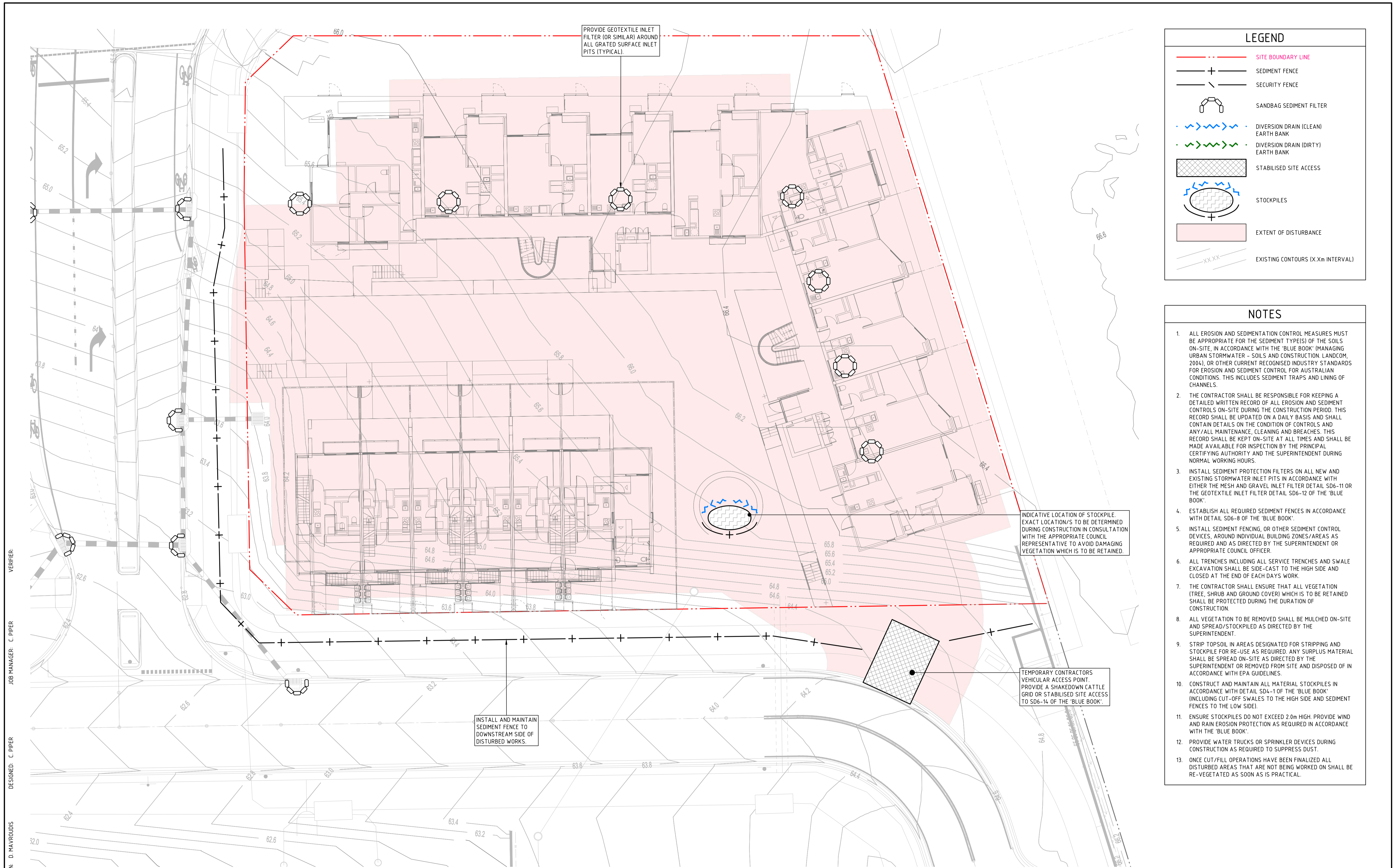
DRAWING NUMBER

**DA-C02.01**

REVISION

**A**

DRAWING SHEET SIZE = A1



LEGEND	
	SITE BOUNDARY LINE
	SEDIMENT FENCE
	SECURITY FENCE
	SANDBAG SEDIMENT FILTER
	DIVERSION DRAIN (CLEAN) EARTH BANK
	DIVERSION DRAIN (DIRTY) EARTH BANK
	STABILISED SITE ACCESS
	STOCKPILES
	EXTENT OF DISTURBANCE
	EXISTING CONTOURS (X.Xm INTERVAL)

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ARCHITECT

**Hill Thalys**  
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PROJECT

**GARDEN SUBURB AFFORDABLE HOUSING LOT 67 / 68 MYALL ROAD HILLSBOROUGH**

DRAWING TITLE

**CIVIL ENGINEERING PACKAGE**

**EROSION AND SEDIMENT CONTROL PLAN - SHEET 2**

PROJECT NUMBER

**250168**

DRAWING NUMBER

**DA-C02.02**

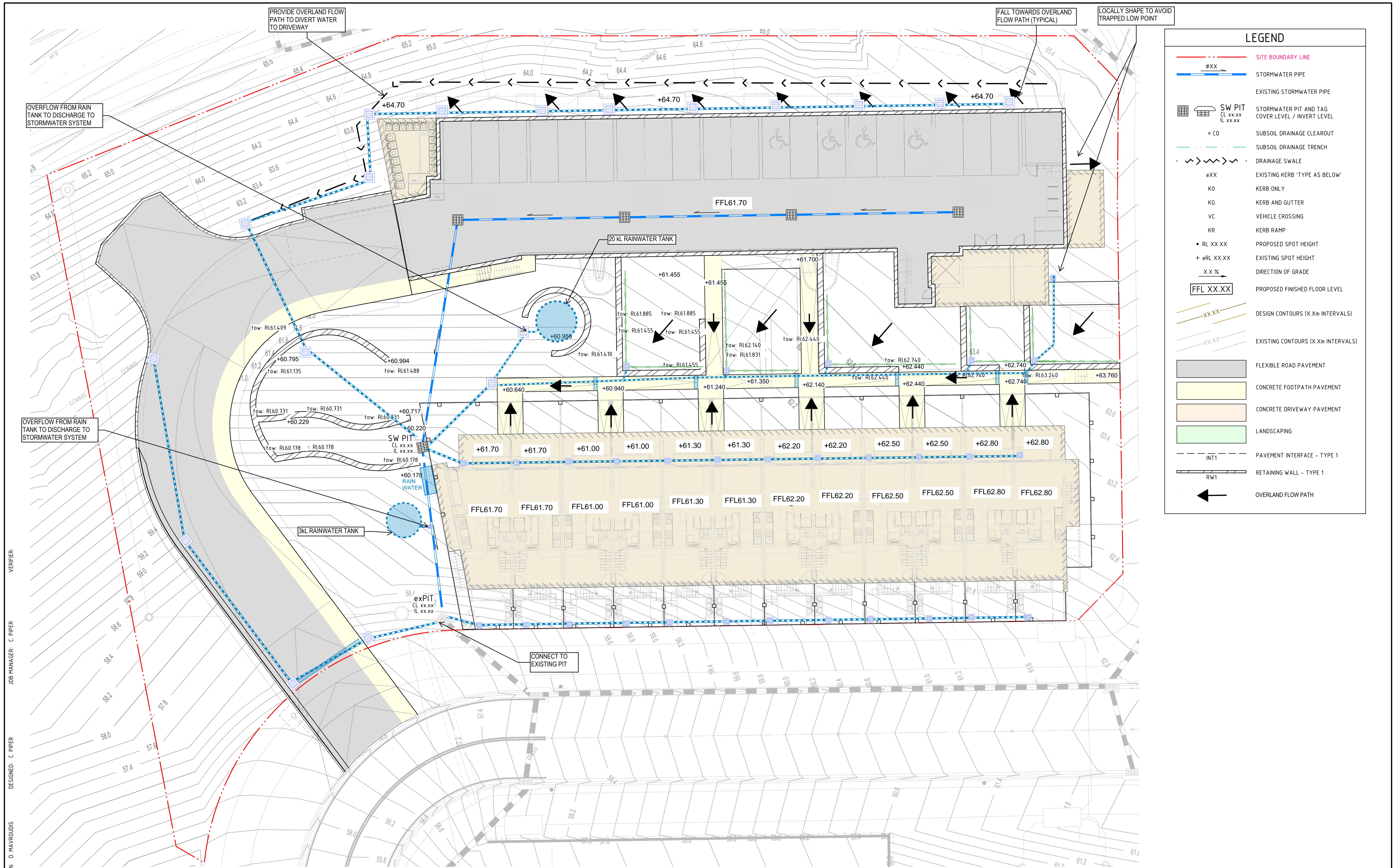
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LEGEND	
	SITE BOUNDARY LINE
	STORMWATER PIPE
	EXISTING STORMWATER PIPE
	STORMWATER PIT AND TAG COVER LEVEL / INVERT LEVEL
	SUBSOIL DRAINAGE CLEAROUT
	SUBSOIL DRAINAGE TRENCH
	DRAINAGE SWALE
	EXISTING KERB 'TYPE AS BELOW'
	KERB ONLY
	KERB AND GUTTER
	VEHICLE CROSSING
	KERB RAMP
	PROPOSED SPOT HEIGHT
	EXISTING SPOT HEIGHT
	DIRECTION OF GRADE
	PROPOSED FINISHED FLOOR LEVEL
	DESIGN CONTOURS (X.Xm INTERVALS)
	EXISTING CONTOURS (X.Xm INTERVALS)
	FLEXIBLE ROAD PAVEMENT
	CONCRETE FOOTPATH PAVEMENT
	CONCRETE DRIVEWAY PAVEMENT
	LANDSCAPING
	PAVEMENT INTERFACE - TYPE 1
	RETAINING WALL - TYPE 1
	OVERLAND FLOW PATH

DRAWN: D. MAVROUDIS  
 DESIGNED: C. PIPER  
 JOB MANAGER: C. PIPER  
 VERIFIER:

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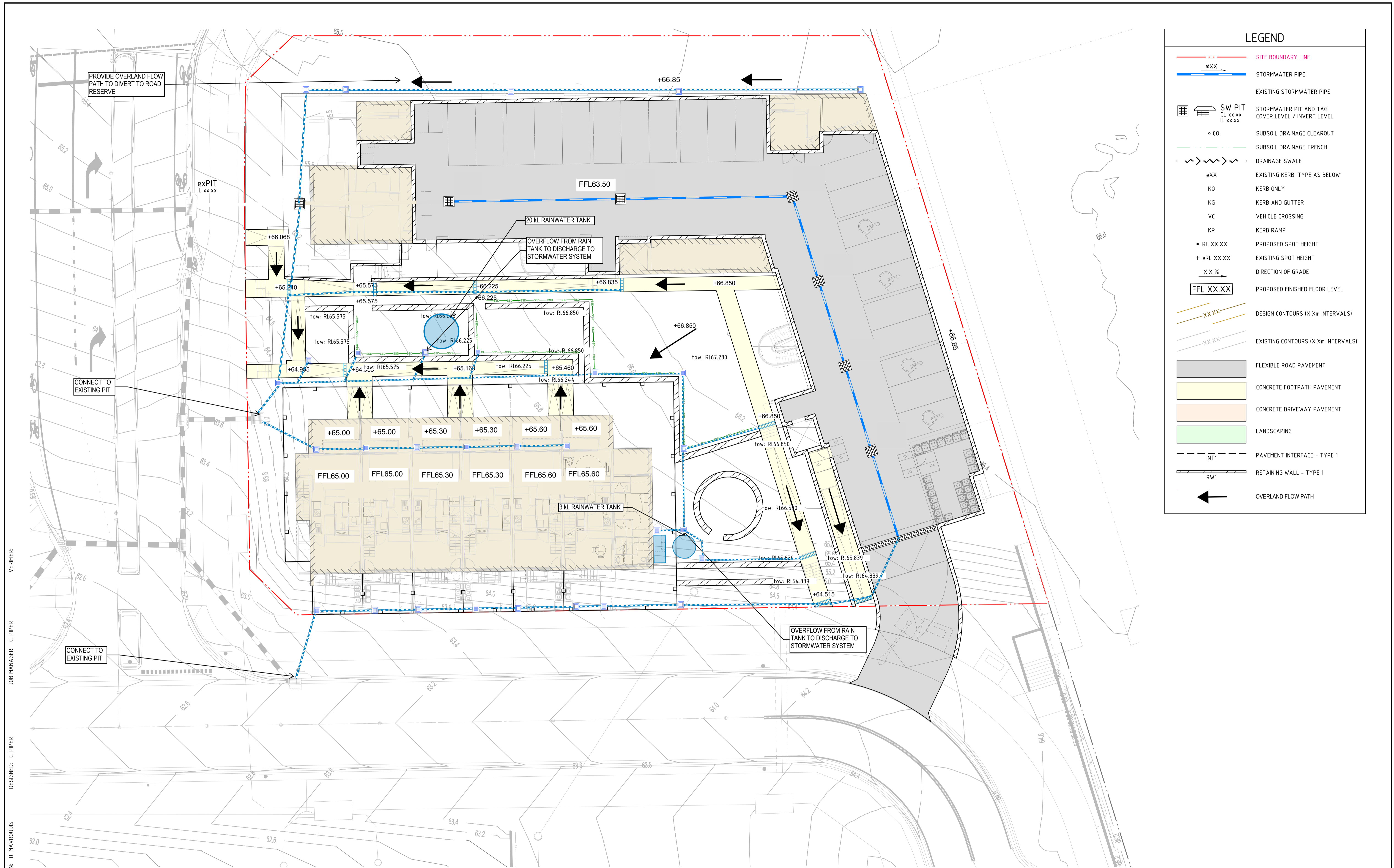
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PROJECT  
**GARDEN SUBURB AFFORDABLE HOUSING LOT 67 / 68 MYALL ROAD HILLSBOROUGH**

DRAWING TITLE  
**CIVIL WORKS PLAN - BASEMENT SHEET 1**

PROJECT NUMBER  
**250168**  
 DRAWING NUMBER  
**DA-C04.03**  
 REVISION  
**A**  
 DRAWING SHEET SIZE = A1



LEGEND	
	SITE BOUNDARY LINE
	STORMWATER PIPE
	EXISTING STORMWATER PIPE
	SW PIT CL xx.xx IL xx.xx
	SUBSOIL DRAINAGE CLEAROUT
	SUBSOIL DRAINAGE TRENCH
	DRAINAGE SWALE
	EXISTING KERB 'TYPE AS BELOW'
	KERB ONLY
	KERB AND GUTTER
	VEHICLE CROSSING
	KERB RAMP
	PROPOSED SPOT HEIGHT
	EXISTING SPOT HEIGHT
	DIRECTION OF GRADE
	PROPOSED FINISHED FLOOR LEVEL
	DESIGN CONTOURS (X.Xm INTERVALS)
	EXISTING CONTOURS (X.Xm INTERVALS)
	FLEXIBLE ROAD PAVEMENT
	CONCRETE FOOTPATH PAVEMENT
	CONCRETE DRIVEWAY PAVEMENT
	LANDSCAPING
	PAVEMENT INTERFACE - TYPE 1
	RETAINING WALL - TYPE 1
	OVERLAND FLOW PATH

VERIFIER: [Blank]  
 JOB MANAGER: C-PIPER  
 DESIGNED: C-PIPER  
 DRAWN: D. MAVROUDIS

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REVISION	DESCRIPTION	ISSUED	VER'D	APP'D	DATE																
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