

# SUSTAINABILITY REPORT

FY25



**LANDCOM**



# Message from the CEO

This report highlights Landcom’s ongoing leadership in creating sustainable and resilient communities across NSW.

We apply a strategic sustainable approach to all Landcom projects – ensuring the places we design, and deliver are environmentally respectful, inclusive of First Nations perspectives, and efficient to help home-owners lower household costs.

As housing affordability continues to challenge many Australians, Landcom is focused on delivering communities that offer a range of housing options that are resilient to the impacts of climate change and are designed to improve comfort and liveability.

With new sustainability reporting standards now in place, Landcom is among a few agencies required to report on climate-related risks. We are well-prepared for this, having voluntarily reported since 2022. We support the move to mandatory reporting for NSW Government agencies as a step toward greater transparency and accountability.

This also supports our goal to launch a Net Zero Transition Plan by early 2026, focusing on cutting emissions across our operations and supply chain.

We are also improving how we include nature, First Nations knowledge, and Net Zero principles in the planning, design, and delivery of our projects.

As awareness of the importance of nature increases and its critical role in impacting the global economy and our work, we are using the Task Force on Nature-related Financial Disclosures to guide our actions and find ways to make a positive impact. Our work aligns with the UN Sustainable Development Goals and the Global Reporting Initiative.

This report shows our ongoing commitment to making a positive difference to people’s lives in NSW by increasing the supply, affordability, and diversity of housing and creating sustainable communities.



Alexander Wendler  
Chief Executive Officer



# Sustainable Places, where to next...

Landcom is known for delivering sustainable communities for over 20 years. As we look towards our 2028 goals we continue to push our design and delivery objectives to integrate sustainability and quality urban design into the places we create.

We are committed to delivering high quality homes – and acknowledge the rapidly evolving sustainability space. As we fully integrate our Net Zero Transition Plan – we will review and strengthen our Sustainability Strategy and targets to integrate nature, sustainable communities and quality urban design into everything we do.





# 2025 Highlights



## Climate Resilient Places

### 13.2%

upfront carbon reduction across all in-scope dwellings

### Net positive (+3%)

overall portfolio performance achieved a net positive nature outcome of 3%. Landcom measures natural asset before development commences to monitor how we retain and improve natural assets across our portfolio.

### 100% of projects

carried out climate risk assessments and identified actions to address physical and transition climate risks

### Green Star ratings

Two new 5 Star Certifications and seven new registrations across Buildings, Communities and Homes tools

### Q CASE STUDY



#### Integrated water management approach

Our Bomaderry Build-to-Rent project addresses flood risk and climate exposure through integrated water management and urban design. Responding to extreme rainfall and flooding in the Shoalhaven, the strategy embeds climate adaptation and reflects Landcom's commitment to resilient, sustainable development and water-sensitive planning in regional NSW.



## Productive Places

### 20,697

Cumulative jobs enabled toward our goal of enabling 30,000 enduring jobs by 2036

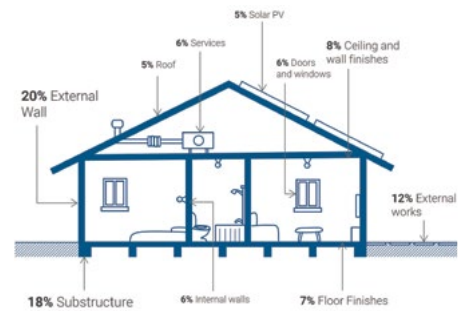
### \$69,000

Cash investment in research and development

### 767

Students engaged cross our programs

### Q CASE STUDY



#### Our homes weigh a tonne - of carbon per square metre

Landcom partnered with the Clean Energy Finance Corporation, Development WA and the Green Building Council of Australia in a research piece evaluating the scale of upfront carbon in class 1a buildings across Australia. Findings showed that upfront carbon is over seven times more than its lifetime operational emissions.



## Healthy & Inclusive Places



100%

new projects used our Join-In Framework for engagement



100%

new projects reviewed by the Landcom Design Review Panel



90%

of residents report high physical and mental health



71%

residents report the design of their community is resilient and best practice

### Q CASE STUDY



#### Engaging with future residents

Landcom broadened its approach to community engagement to gather feedback from diverse perspectives and local community members. This engagement will help shape and strengthen plans for future community designs at The Joinery in Annandale and at our new masterplanned community in Glenfield.



## Accountable & Collaborative Places



#### GRESB Green Star

Landcom achieved 97/100 for GRESB reporting, well above the average 88/100



#### Nature

Landcom's Board Charter and Risk Appetite Statement's were updated to include impacts to Nature in Board decision making

#### Innovate RAP

Landcom created and launched our Innovate Reconciliation Action Plan

#### Climate Related Financial Disclosures

Landcom's first year of mandatory disclosure to Treasury on our approach to managing climate change risks

### Q CASE STUDY



#### Designing with Country in affordable housing

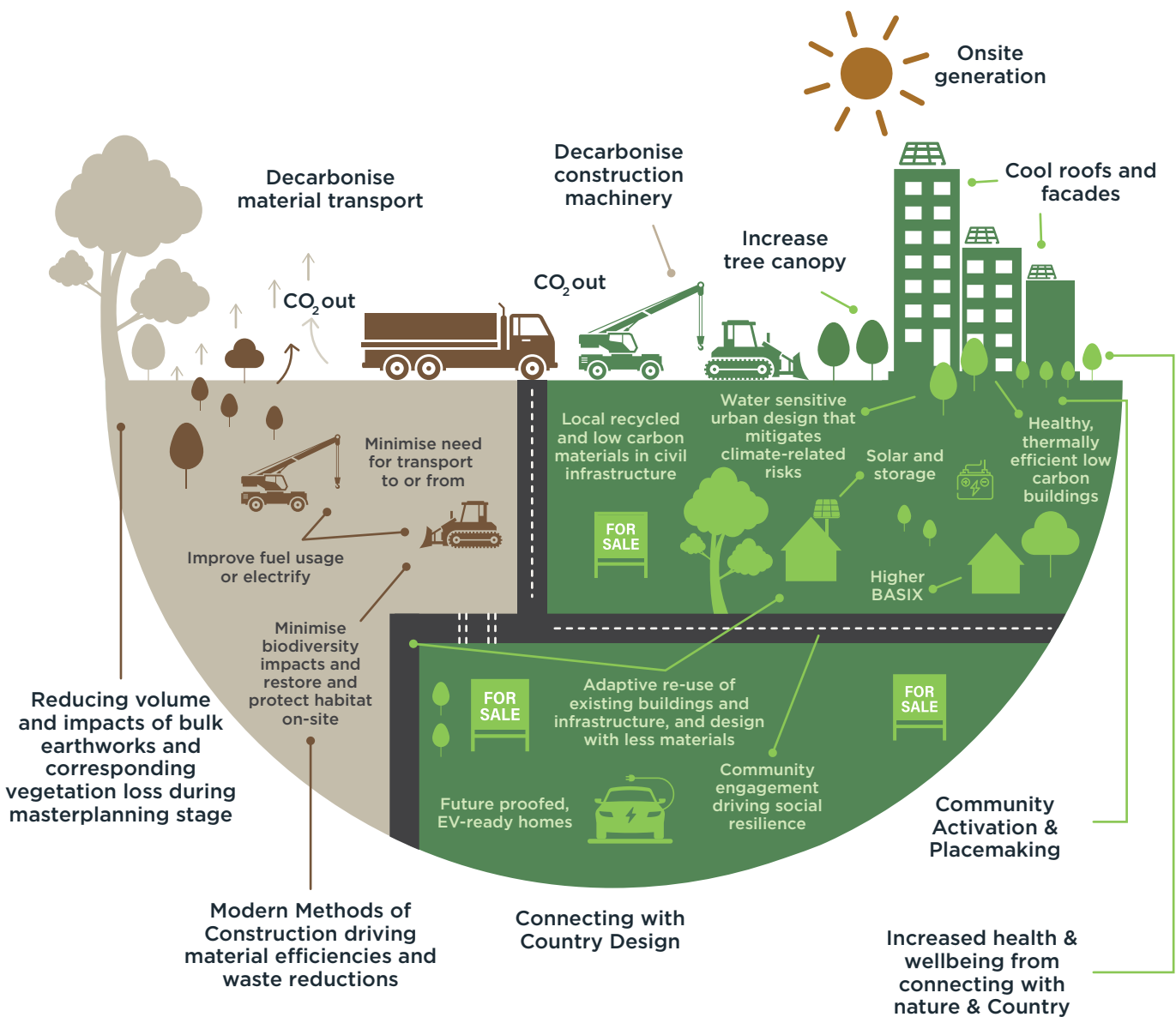
Block 24 - Landcom's affordable housing project at Edmondson Park embraces a culturally led design approach shaped by Aboriginal design principles. Through deep listening and co-design, the project restores connection to Country, embeds cultural meaning in the built environment, and strengthens capability for respectful, place-based development aligned with reconciliation goals.



# Designing with nature, delivering with purpose

Creating beautiful, sustainable homes and places means thinking about climate resilience every step of the way. From the moment we assess a piece of land to the final stages of development – we are integrating sustainability and community resilience thinking into every aspect of the places we create.

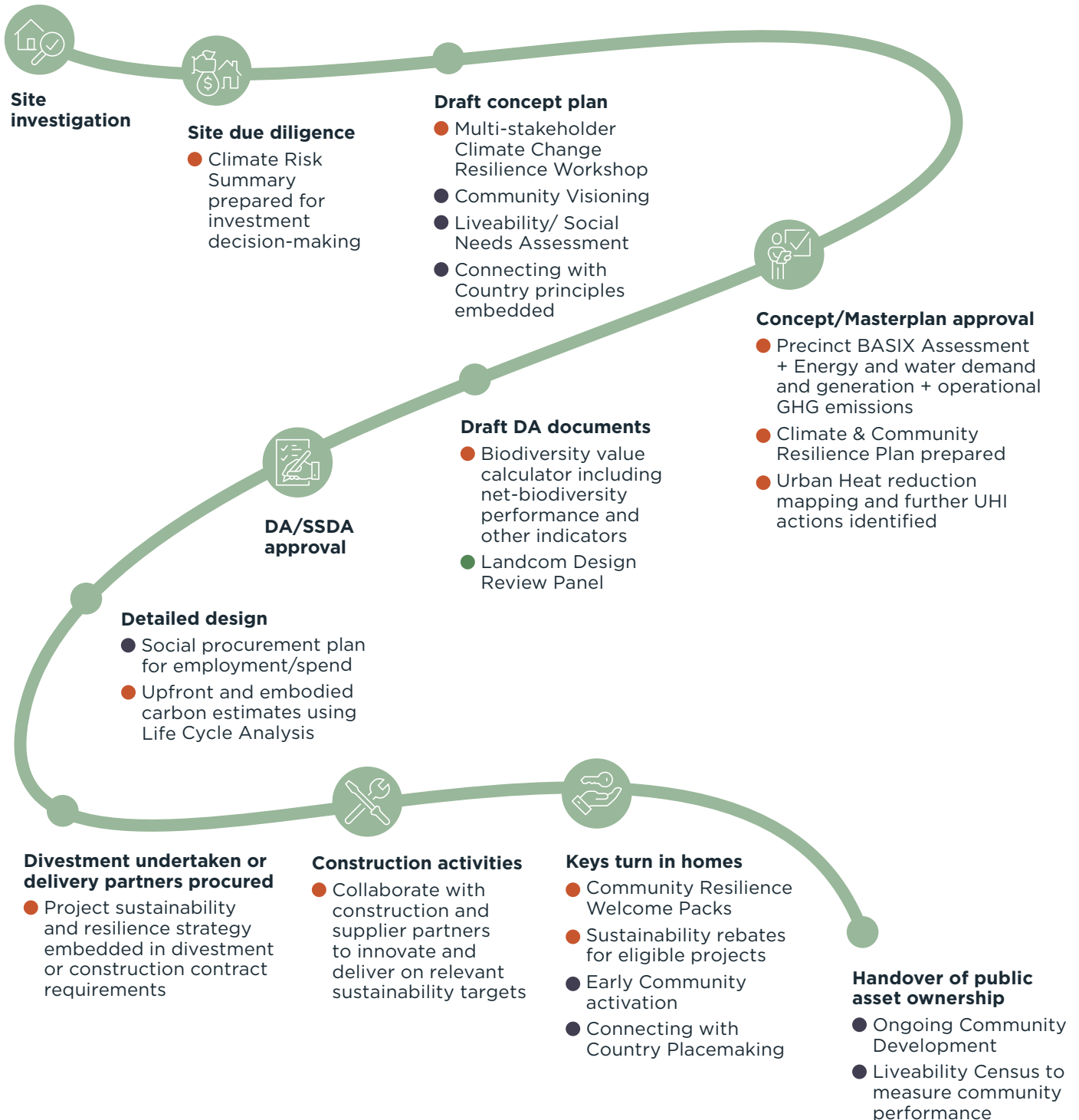
## Sustainable places pathway





# Roadmap of Influence

Every aspect of our work integrates sustainable thinking. From Climate Change risk assessments before we purchase land, through to the detailed selection of low carbon materials, efficient design and integration of creative biodiversity sensitive urban design thinking. It's built into our DNA and into the DNA of Landcom's communities.



**Legend:** ● Socially Sustainable ● Climate Resilient ● Sustainable design reviews



# Climate Resilient Places

Environmentally sustainable communities are balanced in meeting the needs of the natural and urban environments and the needs of people today – as well as the needs of our future generations.

We are focused on delivering housing and places that are designed to manage the impacts of our changing climate.

It encompasses conservation of water, efficient resource use, managing and reducing our carbon emissions and supporting our natural environments.

We do this in part through independent Green Star certification for buildings and communities through the Green Building Council of Australia.

We also engage with our supply chain, supporting communities to reduce their costs of living, and developing our projects in a way that reduce impacts on the environment.

Landcom measures our performance against the following focus areas:

- Climate & Resilience
- Energy & Emissions
- Environmental Management
- Waste & Materials
- Water.

## Relevant Sustainable Development Goals





## Climate & Resilience Performance Results

Landcom's Sustainable Places Strategy represents our commitment to delivering resilient communities that balance ecological outcomes, reduce climate-related risks and use resources wisely.

### FY25 Performance Results

The below table outlines our FY25 performance against our Climate & Resilience Targets.

Focus Area	Objective	Target	FY25 performance
Climate & Resilience	To respect, conserve and regenerate our natural environment and embed adaptation and resilience into all precincts, and expand community awareness	All projects implement actions to address identified physical and transition climate risks	<b>100%</b> in scope projects have achieved
		Net positive biodiversity portfolio performance <sup>1</sup>	<b>Net positive (+3%)</b> overall portfolio performance
		All projects achieve a net urban heat reduction	<b>100%</b> in scope projects have achieved
		All new built form adopts industry best practice Solar Reflective Index (SRI) minimums	<b>No built form projects delivered in FY25</b>

### Climate Change Risk and Community Resilience

In FY25, Bomaderry Build to Rent (BTR), The Joinery Annandale, Chatswood, Edmondson Park Jardine Drive Precinct, Lismore BTR and Tweed Heads all conducted climate resilience assessments and planning, including embedding and/or implementing actions to reduce the physical and transition risks of climate change.

Lismore and Bomaderry BTR Projects both completed Climate Change and Community Resilience Plans throughout the planning and design stage to inform land use planning decisions prior to Development Application (DA) submission.

Climate-related risks are assessed as part of Landcom's due diligence during the pre-acquisition process. With adaptation measures incorporated into project design in response to identified high-risk areas.

These risks have been addressed with various stakeholders at different stages of the project including design workshops and have informed potential engagement activities with future residents to support climate and community resilience.

The Joinery Annandale, Chatswood and Edmondson Park Jardine Drive Precinct projects have all completed Climate Risk Summaries that provide an overarching assessment of Landcom's climate exposure and high-level climate-related risks, informing the potential development of the site and informing key decision-makers prior to acquiring the sites.

In FY25 Landcom continued to mature its approach to climate-related financial disclosures under the new NSW Treasury TPG24-33 Disclosure requirements. For further information, please see the [FY25 Annual Report - Appendix 2 - Climate-related financial disclosures](#).

<sup>1</sup> Landcom measures natural assets on sites we procure and uses a bespoke ecological tracking tool to measure and monitor changes in land use over the life of a project. This financial year Landcom has on average increased natural assets across our sites by 3%.

## Extreme heat

Heat continues to be a major stress for many communities across Australia. Landcom is committed to reducing the impacts of heat from our projects. Enhancing the livability and resilience of our communities and the residents who live there.

In FY25, Edmondson Park Affordable Housing 24 Precinct, Orange, The Joinery Annandale and Glenfield projects all progressed planning for heat reduction and are all in scope for our new Urban Heat Island (UHI) Reduction target.

Edmondson Park Affordable Housing 24 have designed for 60% of project area contributing to UHI reduction, with the rezoning proposal increasing canopy targets, and a commitment to best-practice Solar Reflective Index (SRI) values for roof areas.

Our Orange project has designed for 71% of project area to contribute to UHI mitigation, providing large and connected open spaces, landscaped areas and a commitment to best-practice SRI values for roof areas.

The Joinery Annandale, project has designed for 65% of project area to contribute to UHI reduction, including green roofs and public landscaping, and a commitment to best-practice SRI values for roof areas.

The Glenfield project has committed to 65% of the project area contributing to UHI reduction through early design processes including providing for open spaces, landscape planning and a commitment to best-practice SRI values for roof areas.

## Biodiversity

New projects in scope for FY25 include Redmond Place, Bomaderry BTR, Lismore BTR and The Joinery, Annandale. Two out of four new projects demonstrate a net-positive biodiversity contribution. Across the portfolio including projects disclosed in prior years' reporting, Landcom is forecast to demonstrate a 3% net positive change in biodiversity value across over 1,300 hectares of post-development land.

Redmond Place is forecast to contribute a very good (>100%) net positive change in biodiversity value by working with natural systems for water management and biodiversity conservation by providing new parks, wetlands and designing road corridors to enable tree-lined streets.

Prior to clearing for agricultural use, the Redmond Place project site would have been home to the Central Tableland Clay Apple Box Grassy Forest and the Southern Tableland Grassy Box Woodland. Very few habitat features remain within the subject site after prior land uses, however 0.29 hectares of remnant woodland will be retained in the masterplanned community, removing of 0.17 hectares of degraded native habitat for the provision of housing.

The Joinery, Annandale is currently forecast to achieve a moderate (<1%) improvement in biodiversity outcomes, due to the site having no existing habitat on-site and early design planning for tree plantings and garden beds on a ground floor courtyard.

Bomaderry BTR is currently forecast to achieve a reduction in biodiversity outcomes, due to the removal of 0.24 ha of degraded native vegetation, to be replaced by native vegetation plantings and other landscaping throughout the masterplan.

Lismore BTR is delivering important sustainability outcomes throughout the built form, including garden plantings on the central elevated walkway, water sensitive urban design features across the site, the protection of 7 out of 8 high value trees on-site, as well as the transplantation of some existing trees on-site.



Artist impression of the Southern Wetlands at Redmond Place community in Orange



## FY25 projects potential impacts to threatened species from development activities

FY25 in-scope projects	Bomaderry - BTR	Lismore - BTR	Annandale - BTR	Orange
<b>Direct impacts</b>	Removal of native vegetation and species habitat	Removal of native vegetation	Impacts to waterways or riparian corridors	Removal of native vegetation and species habitat
<b>Indirect impacts</b>	Noise, dust or light spill	Inadvertent impacts on adjacent habitat or vegetation	Pollution	Transport of weeds and pathogens from the site to adjacent vegetation
<b>Extent of impact area (ha)</b>	0.27	0.01	-	0.47
<b>Duration of impacts</b>	Long-term impact - throughout life of project (e.g. permanent loss of native vegetation)	Short-term impact - throughout construction period (e.g. sediment and erosion or indirect noise)	Short-term impact - throughout construction period (e.g. sediment and erosion or indirect noise)	Short-term impact - throughout life of project (e.g. temporary loss of native vegetation)
<b>Reversibility or irreversibility of impacts</b>	Reversible - no significant impacts likely to occur	Reversible - no significant impacts likely to occur	Reversible - no significant impacts likely to occur	Reversible - no significant impacts likely to occur

Indirect risks such as transport of weeds and/or pathogens and inadvertent impacts on adjacent habitat or vegetation are possible during development of our communities, however we continue to effectively manage these risks through the preparation of robust Environmental Management Plans.

Landcom will continue to undertake the LEAP (Locate, Evaluate, Assess, Prepare) approach adopted within the Taskforce on Nature-related Financial Disclosures framework, including adopting internal nature-related risk and opportunity assessments for new projects under consideration.

In FY25, Landcom integrated nature-related risks into investment decision-making, including updating Landcom's Board Charter to include consideration of nature-related risks. While Landcom's primary function is to develop land to deliver affordable and sustainable housing, our development footprint only covers a total of 43% of the site area across Landcom's entire portfolio.

The remaining 57% is made up of habitat, waterways and water bodies, and landscaped areas including open space. The majority of habitat on-site is in good condition 81%, whereas 19% of habitat is in poor condition and has the potential to be improved through regeneration efforts.

While riparian land only makes up a small proportion of our project sites, waterway health and stormwater management remain key priorities for Landcom given the sensitivity of these ecosystems and is discussed further in our Water section.



## Energy & Emissions Performance Results

This focus area represents our commitment to delivering energy efficient communities that reduce greenhouse gas emissions, advance uptake in renewable energy technologies, and reduce the cost of living to residents.

### FY25 Performance Results

The below table outlines our FY25 performance against our Energy & Emissions Targets.

Focus Area	Objective	Target	FY25 performance
Energy & Emissions	To conserve energy and drive energy efficient, low carbon, low emissions precincts for the future	70% GHG emissions weighted portfolio reduction	<b>65%</b> Projected weighted portfolio GHG reduction
		10% upfront and embodied carbon weighted portfolio reduction	Upfront carbon: <b>13.2%</b> projected weighted portfolio reduction Embodied carbon: No projects in-scope for FY25
		20% forecast precinct energy demand is supplied by renewable energy, or a smart energy solution	<b>100%</b> of in-scope projects achieved

### Greenhouse Gas Emissions Reduction

Landcom is targeting a 70% reduction in operational GHG emissions across Landcom's forecast portfolio of dwelling delivery. We measure this by comparing the modelled GHG emissions of Landcom projects against the 2016 metro average, with each project's emissions reductions apportioned based on the project's contribution to portfolio-wide dwelling delivery.

In FY25, Landcom's in-scope project portfolio is projected to achieve a 66% reduction in operational GHG emissions, weighted across the portfolio (by the number of dwellings forecast to be delivered). Three new projects were in-scope for Landcom's 70% GHG emissions reduction target including Lismore Build to Rent, Glenfield and Orange projects. The GHG emissions modelling for Glenfield has also been updated for inclusion in portfolio emissions during FY25 to reflect commitments made by the project during the masterplanning stage, including efficiency upgrades and increased solar PV provision to reduce operational energy use.

Of note, Orange and Glenfield are projected to achieve operational GHG emissions reductions of over 100% on the 2016 baseline through energy efficiency measures including the provision of renewable energy on-site, through precinct and residential building design, and financial incentives to drive consumer uptake in energy efficient housing choices.

Landcom's Build to Rent (BTR) projects of Bomaderry and Lismore are forecast to achieve a 34% and 37% reduction respectively. While not achieving the GHG emissions reduction target in isolation, being Landcom's first Built Form projects, Bomaderry and Lismore BTR designs have implemented design measures to reduce operational GHG emissions and will continue to provide valuable lessons learnt to Landcom to continue to decarbonise our new Built Form delivery stream.

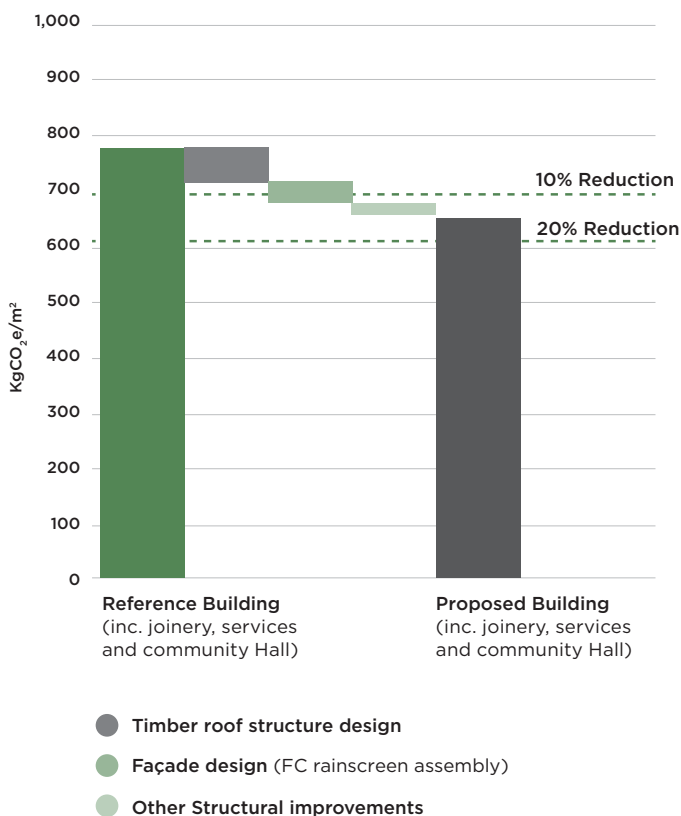
## Onsite Renewable Energy

Landcom's new onsite renewable energy target extends beyond the inclusion of solar panels on residential homes and requires a strategic precinct-scale response. The intent of this target is to drive innovation and large-scale integration of renewable energy sources at the project site, or the use of mechanisms like renewable energy power purchase agreements.

In FY25 Landcom had four projects in-scope for our 20% target including Lismore BTR, Orange, Glenfield and North Wilton. All four projects have committed to reducing energy demand through mandating and incentivising minimum energy efficiency requirements and the provision of solar PV precinct-wide.

Landcom's Orange, Glenfield and North Wilton projects will deliver predominantly low-density dwellings with ample roof space for solar PV. The Lismore BTR project is committed to a 20% reduction in precinct grid-energy required through design interventions including the provision of solar PV on rooftops, energy efficient fixtures and thermally efficient design measures. The NSW Government will retain ownership of Lismore BTR buildings, which will be managed by a government agency or community housing provider, providing ongoing opportunities to monitor and improve energy use and efficiency.

### Initial Assessment BTR Lismore (low-rise apartment building) Upfront Carbon Intensity (A1-A5)



**Figure 1** Upfront carbon intensity (A1-A5) of Lismore BTR proposed design



**Figure 2** Artist impression of the Build to Rent project in Bombaderry.

## Upfront and embodied carbon

Three projects were in-scope for our upfront carbon target including Bomaderry and Lismore BTR projects and the North Wilton Panorama Net Zero Demonstration Home. Weighted across the portfolio, new Landcom projects are forecast to achieve a 13.2% reduction in upfront carbon.

Bomaderry BTR is modelled to achieve a 12% reduction in upfront carbon, exceeding Landcom's targeted 10% reduction through material swaps including low carbon concrete with a 30% Supplementary Cementitious Materials (SCMs) replacement, steel roof framing, and further lower carbon material swaps for external walls, cladding and ceilings.

Lismore BTR is also modelled to exceed Landcom's target, including swapping standard concrete and steel facade components for an 8mm fibre cement facade system, swapping standard roofing for a timber roof design, and other structural improvements, leading to an estimated 14.7% reduction in upfront carbon.

## Q CASE STUDY

## Adaptive reuse cuts carbon and waste in Queenscliff affordable housing project

The transformation of the former Queenscliff Community Health Centre into affordable and diverse housing is proving that sustainability and social impact can go hand in hand. Through adaptive reuse, the process of repurposing existing building structures for new uses, has significantly reduced environmental impacts across multiple dimensions. By retaining much of the original structure, the development minimized the need for new materials, avoided demolition waste, and achieved substantial reductions in both operational and embodied carbon emissions.

### 37% reduction in operational carbon

Targeted retrofits improved the operational carbon emissions from a baseline scenario of utilising the un-improved existing structure; including wall and ceiling insulation improvements, reflective foil added to external walls, lightening of the roof colour and upgraded windows to low-E and double glazing. Efficient water fixtures, a heat pump hot water system, ceiling fans, and a 20kW solar photovoltaic array further enhanced energy performance.

### 67% demolition material reduction

The building sector accounts for a staggering 40% of annual global carbon emissions, with materials and construction contributing 13% of this total. Adaptive reuse drastically cuts down on demolition materials destined for landfill by maintaining the building's core components. Adaptive reuse in the Queenscliff housing project reduced demolition material by approximately 1,512.03 tonnes; a 67% reduction compared to full demolition.

### Embodied carbon

The adaptive reuse leads to a 20% increase in embodied carbon from the existing building due to the additional construction materials required, however demonstrates a 70% reduction in embodied carbon compared to the modelled embodied carbon from a similar building built from scratch.



Original Building: Two-storey, brick-built Community Health Centre with a flat roof, featuring basic design elements and minimal energy efficiency.



Adaptive Reuse: Landcom's adaptation into affordable housing at Queenscliff.



## Environmental Management Performance

This focus area represents our commitment to deliver communities that achieve or exceed independent third-party rating systems or standards.

### FY25 Performance Results

The below table outlines our FY25 performance against our Environmental Management Targets.

Focus Area	Objective	Target	FY25 performance
Environmental Management	To maintain and enhance a culture of high environmental performance	All projects achieve a certified Green Star rating	100% of in scope projects have achieved or are on track.
		5 Star NABERS rating for all office, hotel and retail	100% of in scope projects have achieved
		All Landcom controlled dwellings achieve 'Low' BASIX materials rating	No dwellings in-scope for FY25
		All residential dwellings to achieve BASIX 60 water rating	73% of dwellings achieved

### Green Star

In FY25, Landcom proudly achieved its first As Designed Green Star Homes certification from the Green Building Council of Australia for the Panorama Net Zero Demonstration Home, on top of some of the highest certifications in NSW including BASIX 100 Energy score, and a leading 8.7 Star NatHERS rating.

Landcom also maintained the Green Star certifications for the Sydney Metro North West Projects (SMNWP) of Bella Vista, Kellyville and Panorama at North Wilton by continuing to implement the actions and initiatives committed to. The SMNWP of Cherrybrook, Norwest, and Tallawong all divested site lots with requirements for Green Star certifications through condition of sales.

Equally, Landcom has progressed the Green Star pathways for all registered projects including Austral, Bomaderry BTR, Lismore BTR, Orange and Rooty Hill.

### NABERS Certification

In FY25 the SMNWP of Bella Vista, Cherrybrook, Kellyville, Showground and Tallawong all included 5 Star minimum NABERS ratings for both Energy and Water within the Ecologically Sustainable Development (ESD) strategy for the precincts and these will be further conditioned within all draft contracts of sale for individual divestments throughout FY26.

### Incentivising uptake of higher BASIX energy scores

At Macarthur Heights, Landcom piloted the use of sustainability rebates to drive higher BASIX energy scores - delivering a total of \$2,169,500 of financial incentives to Landcom residents to make their homes more resilient and lower the cost of living. The program's success has driven uptake of sustainability rebates for new Landcom projects, including Panorama at North Wilton Stage 1 and Stage 4 land releases - offering \$10,000 to households achieving a BASIX-100 energy score (or equivalent energy efficiency improvements). While construction is still underway for Stage 1 dwellings and the rebate program is still in its infancy, one \$10,000 rebate was paid during FY25 to deliver a BASIX-100 energy score - enabling a 100% reduction in greenhouse gas emissions from the baseline.

## BASIX Materials

In FY25, no Landcom-controlled dwellings completed were in-scope (relevant construction or divestment activities undertaken) for our BASIX Materials target. Construction has begun on Landcom's Panorama Net Zero Demonstration Home - built with recycled and low carbon materials including for the concrete slab, benchtops, tiles, lighting and tapware. The Demonstration Home was reported in FY24, achieving a 'Low' score of -43 under the BASIX Materials Rating.

## BASIX Water

In FY25, 73% of in-scope Landcom dwellings have achieved or committed to a delivery mechanism for our BASIX Water target.

The Sydney Metro North West Places (SMNWP) precincts of Cherrybrook and Showground have committed to adopting Landcom's BASIX Water target for all residential buildings through relevant divestment document requirements. Planning for the divestment of SMNWP Precincts of Bella Vista and Kellyville partially achieves the BASIX Water target by adopting a BASIX Water score of 60 for all high-rise residential buildings, making up the majority of the precinct, and adopted a minimum BASIX Water score of 40 for all mid-rise residential buildings.

Similarly, while going beyond the NSW minimum requirements for BASIX Water through the use of recycled water and water efficient recycled tapware and fixtures, the Panorama Net Zero Demonstration Home achieved a BASIX Water score of 47. Consistently and affordably achieving a BASIX Water score of 60 across low density dwellings continues to be a delivery challenge for Landcom, and in FY26 we will explore barriers and opportunities for our projects to deliver more effectively against our BASIX water target.





## Waste & Materials Performance Results

Landcom's Sustainable Places Strategy addresses *Waste and Materials* and addresses our commitment to delivering communities that reduce waste, and source materials responsibly.

### FY25 Performance Results

The below table outlines our FY25 performance against our Waste & Materials Targets.

Focus Area	Objective	Target	FY25 performance
Waste & Materials	To drive innovation in waste reduction, and further enable the use of responsible resources	98% portfolio construction waste is diverted from landfill	<b>95%</b> minimum portfolio construction waste diversion committed
		80% portfolio demolition waste is diverted from landfill	<b>95%</b> achieved
		100% of construction timber is industry certified	<b>95%</b> of construction timber certified

### Waste

In FY25, one new Landcom project completed demolition activities and was in-scope for reporting on our targeted 80% demolition waste diversion. Landcom's Bulli project has partnered with the University of Wollongong to examine some of the costs and benefits of deconstruction and diversion of demolition waste. Bulli has now completed demolition of 11 of the former hospital buildings and progressed ground remediation, achieving a 95% reduction in the project's construction waste sent to landfill (excluding hazardous and contaminated materials).

The buildings themselves were dilapidated and contained hazardous materials including asbestos, lead paint and biological hazards and are therefore not fit for repurposing. Contaminated and hazardous materials were sent to an appropriate processing facility.

With support from our lead contractor, the project is stockpiling demolition and construction materials suitable for potential reuse on-site, as well as keeping some low-level contaminated materials safely on-site, such as reuse of existing bitumen and building rubble, to be reused during road construction in future stages.

While no new projects completed construction activities during the reporting period, six Sydney Metro North West Places (SMNWP) are in-scope for Landcom's pre-FY24 construction waste diversion target having committed to the use of project-wide contract inclusions for all divestment activities scheduled for FY26. Bella Vista, Cherrybrook, Kellyville, Norwest, Showground, and Tallawong projects all committed to a target of 95% diversion of waste from landfill (excluding hazardous and contaminated materials).

We acknowledge that there are some waste streams from our construction activities that are extremely difficult to reuse or divert from landfill. Common items that are still landfilled include offcuts from water infrastructure and packaging from suppliers.

In FY25 we explored opportunities to partner with recycling centers, organisations and research institutes to find recycling and re-use options for some of our remaining problem construction waste streams. Landcom's Panorama Net Zero Demonstration Home, in partnership with the volume home builder leading the construction, is targeting a 98% diversion of construction-related waste from landfill, including the pilot of a material packaging recycling collection partnership on-site. Construction is underway and completion expected during FY26.

### Materials

While no new projects completed construction activities during the reporting period, six SMNWP Precincts have committed to Landcom's pre-FY24 target of reducing construction waste to landfill by 95% in FY25 including Bella Vista, Cherrybrook, Kellyville, Norwest, Showground, and Tallawong. By adopting the use of the SMNWP project-wide sustainability contract inclusions for all divestment activities scheduled for FY26, all six projects have committed to reducing construction waste to landfill by 95% (excluding hazardous and contaminated materials).



# Water Performance

This represents our commitment to delivering best practice water-sensitive urban design and actively conserving potable water.

## FY25 Performance Results

The below table outlines our FY25 performance against our Water Targets.

Focus Area	Objective	Target	FY25 performance
Water	To design our precincts based on best-practice water-sensitive urban design principles, and actively conserve potable water	All new projects demonstrate water positive outcomes through an Integrated Water Management Strategy (IWM) or a Water Balance Study	100% eligible new projects have achieved

## Water Positive Outcomes

In FY25, Landcom’s Lismore Build to Rent (BTR) and Glenfield projects were in-scope for the integrated water management target and completed their Integrated Water Management plans.

These projects will look to achieve water positive outcomes through the effective use of mechanisms such as increased infiltration through retention basins, greater amounts of pervious surfaces through water sensitive urban design and high-efficiency fixtures in dwellings, where possible.

During FY25, Landcom completed a research partnership seeking to identify strategies to enable water-positive outcomes in new communities. These strategies will help inform the ways Landcom projects target potable and recycled water demands, use of rainwater tanks, planning for irrigation of green areas, and the storage of water in lakes and other water bodies on-site.

New projects without access to recycled water or substantial rainwater connections continue to present Landcom with the greatest challenge to reduce potable water consumption. Without access to recycled water or rainwater infrastructure, reductions greater than 50% at the precinct scale become technically challenging, and infrastructure such as private grey and blackwater treatment systems can ultimately have a negative impact on cost of living for our residents.

Q CASE STUDY

## Bomaderry integrated water management approach



Artist impression of the Build to Rent project in Bomaderry

The Shoalhaven area has climate-related risk exposures to extreme rainfall

Extreme rainfall, flooding and storms are common for the Shoalhaven area, and flood risk along Bolong Road and nearby Bomaderry Creek require an integrated approach to water management to drive efficient, resilient water outcomes.

Landcom's Bomaderry Build-to-Rent project has responded to key climate-related exposures by embedding adaptation actions into the urban design and water management plan for the community.

This strategy reflects Landcom's commitment to sustainable development and integrated water management in regional NSW.

### Key water resilience initiatives

#### Water Conservation

The project features high-efficiency fixtures to reduce potable water demand

- Toilets – 4 Star
- Taps – 6 Star
- Shower heads – 7.5 Star
- Dishwashers – 5.5 Star
- Landscaping incorporates drought-tolerant native species, and mulch to minimise water loss

#### Rainwater Harvesting

A 42 kL tank captures roof runoff for reuse in toilet flushing and landscape irrigation, supporting an estimated reuse rate of 829 kL/year for irrigation and 2.614 kL/day for toilet flushing

#### Stormwater Retention & Detention

The site exceeds retention requirements and includes on-site detention to manage post-development flows

#### Water Quality Treatment

A multi-stage treatment train includes first-flush devices, proprietary filtration units, detention storage, and Gross Pollutant Traps (GPTs). These systems meet pollutant reduction targets

- Gross Pollutants – 90%
- Total Suspended Solids (TSS) – 85%
- Total Phosphorus (TP) – 65%
- Total Nitrogen (TN) – 45%

#### Flood Management

The lowest habitable floor level (6.90 m AHD) is above the flood planning level (6.40 m AHD)



# Healthy & Inclusive Places

Landcom is committed to creating liveable, resilient places that are founded on equity, affordability and inclusion.

Landcom understands that a well-designed community enhances liveability, quality of life and creates a resilient community for future generations. By focusing on economic prosperity, affordability, accessibility, education, health and wellbeing within our communities, we aim to meaningfully contribute to the United Nations Sustainable Development Goals<sup>1</sup>, and reduce the impact of shocks and stresses to communities and infrastructure, as identified by Resilient Sydney<sup>2</sup>.

Landcom addresses liveability through the following focus areas:

- Health, Equity & Inclusion, Community Connection and Safety
- Design through Engagement.
- Affordability and Diversity.

Each of these focus areas includes a suite of targets to measure our success.

## Relevant Sustainable Development Goals



1 United Nations Sustainable Development Goals (2018).  
 2 Resilient Sydney Strategy 2025-2030.





# Health, Equity & Inclusion, Community Connection and Safety Performance Results

## FY25 Performance Results

Landcom continued to partner with Place Score's on their bi-annual National Livability Census to report against our targets.

Focus Area	Objective	Target	FY24 <sup>1</sup> performance	FY25 performance
Health, Equity & Inclusion	To promote health and equity for people of all ages and abilities	2036 Goal: 90% of residents satisfaction with quality of life	79%	63%
		Residents report their community has access to high quality amenities, services or employment	77%	57%
		Residents report high physical and mental health	82%	90%
		Residents report the design of their community is resilient and best practice	84%	71%
Community Connection	To nurture all that live, work and recreate in our communities	Residents report their community has a sense of character or identity unique from other neighbourhoods	67%	51%
		Residents report a sense of belonging and support from their community	83%	65%
		Residents report their community is a 20-minute neighbourhood	70%	49%
Safety	To promote a culture of health, safety and wellbeing	Resident satisfaction with personally feeling safe	81%	57%

## Design through Engagement Performance Results

### FY25 Performance Results

Landcom released the Join In Framework in 2018 as part of our commitment to engagement and established its Design Advisory Panel (now Design Review Panel - DRP) in 2019 to promote design excellence.

Focus Area	Objective	Target	FY23 performance	FY24 performance
Design through engagement	To optimise the quality of design and place and drive strong engagement with our communities and stakeholders	All new projects to undergo peer review through the Landcom Design Review Panel (or equivalent)	100%	100%
		All projects have an engagement plan	100%	100%

<sup>1</sup> FY24 Results have been re-calibrated to only include the three communities that were surveyed this year for comparative results being Macarthur Heights, Newbrook at Airds and Hillcroft at Claymore.

## Health, equity, inclusion & community connection

In FY25 we continued to implement our framework for community development, directly targeting increased participation, connection and engagement with our residents. We also continued to focus on leveraging established partnerships with organisations specialising in health, wellbeing and education to deliver impactful and measurable initiatives.

Activities undertaken in FY25 that supported community connection, health, equity and inclusion included:

- Live Life Get Active free fitness classes
- National Theatre for Children – mental health programs
- Learn to skate workshops, dance classes, seasonal and cultural events.

This year Landcom engaged The Man Cave who run transformative workshops for boys aged 12-16 focusing on mental health, emotional intelligence and healthy masculinity with the aim of developing a positive vision on manhood.

We also continued our focus on mental health awareness with the National Theatre for Children's live theatre performance 'Project Mindset'. This is a mental resilience education program.

Impact reports for Live Life Get Active fitness class members show health improvements across all four Landcom supported camps. Key indicators include reduced risk of health issues like pre-diabetic risk and obesity.

The FY25 Place Score National Liveability results<sup>1</sup> are for the three participating Landcom communities in Airds, Claymore and Campbelltown. These showed mixed results from previous years with a reduction in all indicators aside from Physical and Mental Health which trended up to 90%. Landcom will consider the results of these legacy projects for future community development initiatives and to ensure designs adequately address elements such as safety, as we continue to adopt best practice Crime Prevention through Environmental Design (CPTED) principles.

### Community engagement

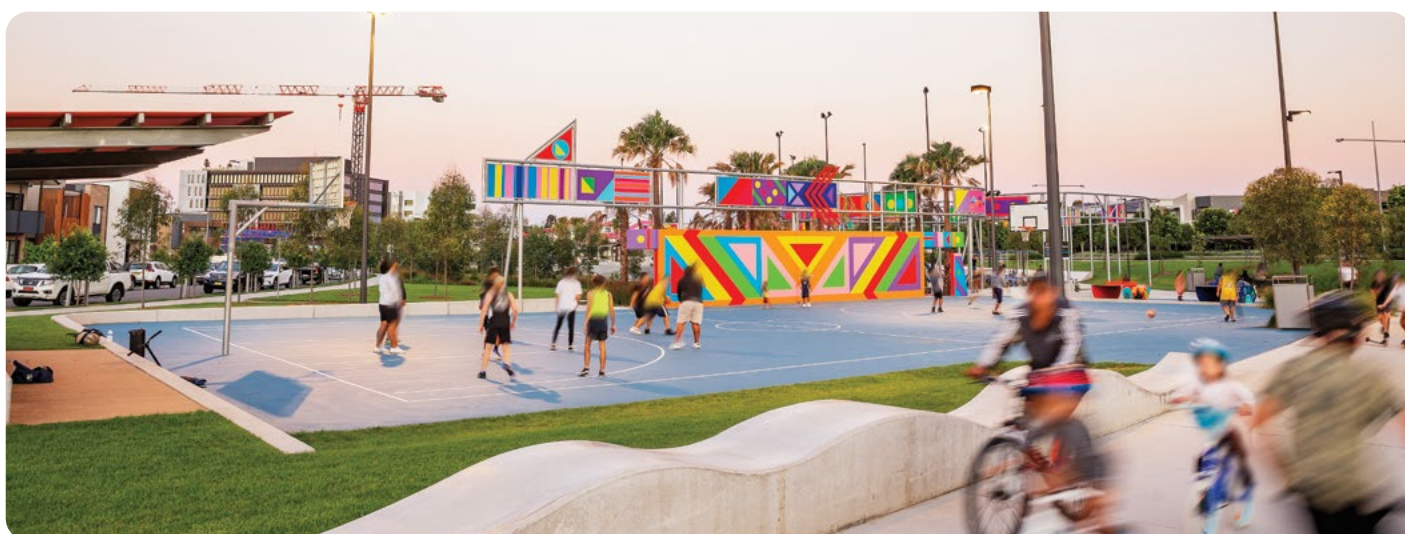
Our approach to working with the people, groups and organisations that have an interest, that will be directly impacted, or have an ability to influence our projects is guided by our Join In stakeholder engagement framework. The framework outlines our commitment to stakeholder engagement and to continued learning and improvement in our engagement practice to help create more affordable and sustainable communities.

In FY25 there were 17 projects with up to date and fit-for-purpose communications and engagement strategies in place. Throughout the year we held proactive community engagement campaigns that supported planning and decision making at various stages of development. This included two brand new communities in the design phase at Glenfield and the newly announced Build to Rent project at Annandale called The Joinery. (See our [Case Study Engaging with Future Residents on p.23](#)).

### Design

The Design Review Panel provides expert independent advice for concepts, master plans, development applications and built form, depending on the project, with the aim of achieving design excellence.

In FY25 there were 21 separate design review sessions for projects undertaking masterplan design or actively reviewing design and delivery options.



<sup>1</sup> FY24 Results have been re-calibrated to only include the three communities that were surveyed this year for comparative results being Macarthur Heights, Newbrook at Airds and Hillcroft at Claymore.

**Q CASE STUDY**

## Engaging with future residents

In FY25 Landcom broadened the reach of our community engagement to target future beneficiaries of new housing. By engaging this stakeholder group, we hear from more diverse perspectives that helps us to strengthen our plans and deliver more suitable housing.

### Glenfield

Planning and design are underway for a new neighborhood west of Glenfield train station. Existing plans are for 3,900 homes, however this could be expanded to accommodate between 4,900 to 5,500 homes.

In this early phase of planning, we engaged the community to gather feedback on the draft Planning Proposal.

Engagement activities included a workshop with local residents, a workshop with potential future residents, an online engagement survey, and an online engagement 'ideas board'.

#### Future residents workshop:

33 people participated in a targeted workshop for future residents. The session focused on understanding what potential purchasers value in a new suburb and how well the Glenfield proposal aligned with those expectations. Activities asked participants to:

1. Share why they want to buy in southwest Sydney.
2. Jot down the features they believe Glenfield needs.
3. Map out their ideal weekday or ideal weekend routine.
4. Reflect on what they did or didn't like about the draft proposal.

Future residents are an often overlooked group but they have a unique, aspirational perspective. Engagement with this stakeholder group was an opportunity to seek valuable feedback on what an ideal neighborhood in Glenfield could look like.



Glenfield Workshops

### The joinery Annandale

Landcom are planning to redevelop the former WestConnex dive site in Annandale into a vibrant mixed-use precinct that blends well-designed homes, shops and public space with the area's rich history and character. The Joinery Annandale could provide around 520 apartments across the 1.1-hectare site, with 220 build-to-rent units offered to essential workers at a discount to market rent.

To help minimise impacts and achieve a great design outcome for the site masterplan and build-to-rent apartments, we consulted a broad range of stakeholders, including site neighbours, the local community, future beneficiaries of the proposal such as essential workers, Inner West Council and other government agencies. Engagement included door knocking neighbouring homes and businesses; workshops, meetings, interviews and focus groups with key stakeholder groups; an online survey and ideas board; drop-in events at a meeting room near the site and the local shops; and Indigenous engagement.

#### Focus groups with key stakeholder groups:

The focus groups were an opportunity to gather targeted feedback from three key stakeholder groups, including a representative sample of local residents, as well as two cohorts of proposed housing beneficiaries - young adults and essential workers.

Each session was guided by a high-level project overview, a structured discussion covering key topics such as housing needs, local infrastructure and social and environmental concerns.

Feedback gathered from these sessions helped us to understand the concerns, ideas, needs and aspirations of both the existing community and potential future residents to enhance our planning and support better outcomes.



Annandale pop-up at Broadway shopping centre



## Affordability & diversity

Increasing affordability challenges across NSW are inextricably linked to sustainable development and we are looking at innovative ways to increase the equity and inclusivity of our communities.

Measurement against Landcom's housing targets can be found in the [Annual Report on p.41](#).

While the supply and delivery of affordable and diverse housing is essential, the lived experience is also an important factor that Landcom seeks to measure. As part of the Place Score Census, in FY24 we collected resident feedback on the diversity and affordability of Landcom communities. Following are the results reported by residents<sup>1</sup>:

- Residents report a good range of housing types and sizes in their community scoring 7.4 out of 10
- Satisfaction with the range of housing prices and tenures in their community is slightly lower with a score of 6 out of 10.

In FY25 we also continued to fulfil our Sustainability Rebate at Macarthur Heights and also at our community Panorama in North Wilton as new residents move in. The \$15,000 sustainability rebate helps residents building new homes achieve BASIX 90 home energy ratings. The incentive aims to help make homes more resilient and lower the cost of living for new home builders in our communities.

Overall we estimate homes that opt into our rebate and achieve a BASIX 90 score will save money each year on the running costs of their homes. By also requiring that these dwellings are all electric they are set up for the decarbonising economy and are more resilient to the energy demands of the future and generally experience lower energy bills.

<sup>1</sup> Results using Place Score data from the 2023 National Liveability Census.







# Productive Places

Landcom's Productive Places pillar is focused on delivering places that will be productive, innovative and engaging for those who live there.

Landcom is committed to economic development, strengthening technology infrastructure and advancing equitable opportunities for skills development and education in the communities we create.

Landcom addresses the enabling of jobs and innovation through the following focus areas:

- Training and employment
- Innovation.

Each of these focus areas includes a suite of targets to measure our success.

## Relevant Sustainable Development Goals





# Training & Employment Performance Results

## FY25 Performance Results

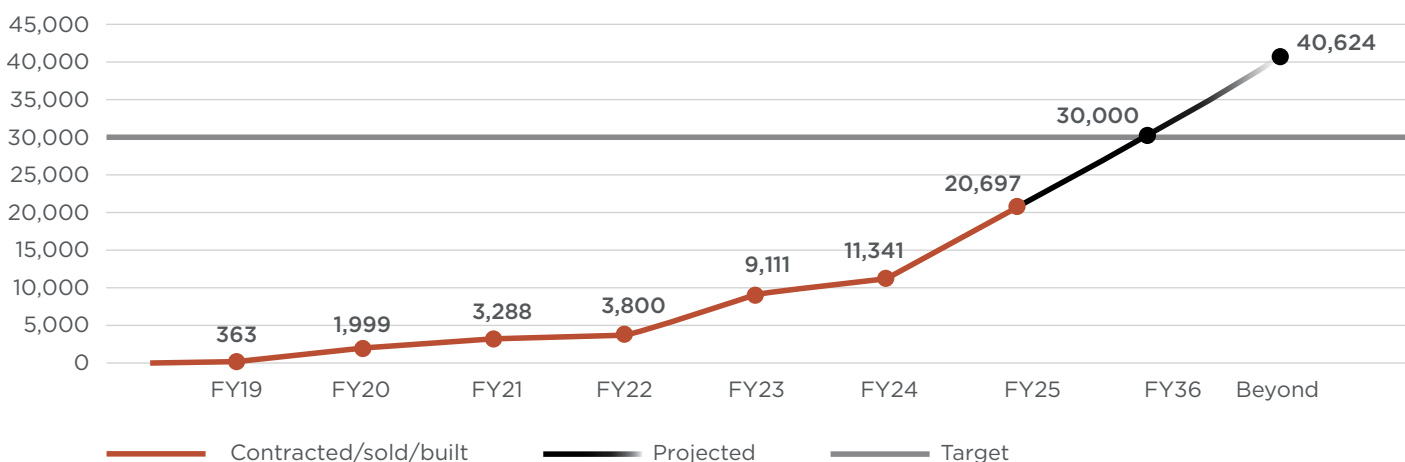
In FY25 all targets for reporting against our Training & Employment were in scope. Our results are presented below.

Focus Area	Objective	Target	FY24 performance	FY25 performance
<b>Training &amp; Employment</b>	To provide opportunities for skills development, education and employment that will enable our communities to thrive	To contribute to a global innovation economy by enabling 30,000 enduring jobs for the future of 2036	11,341 cumulative jobs enabled (Over 30,000 projected by 2036)	20,697 cumulative jobs enabled (Over 30,000 projected by 2036)
		Projects to engage and foster education, learning or employment outcomes via activities or initiatives, based on identified needs of the local and regional community	Engaged 490 students across our Skills Exchange, research and excursion programs	Engaged 767 students across our excursion programs

## Enabling Enduring Jobs

Landcom is on track to meet our commitment to enable 30,000 enduring jobs by 2036. The results for FY25 have increased dramatically due to completed or contracted amenity at Edmondson Park, Panorama at North Wilton and the SMNW Places program, which is forecast to make a substantial contribution to Landcom meeting this goal.

These forecasts will continue to be subject to change as future projects remain in the planning phase and we respond to market demand.



## Training & Employment

In total, Landcom staff engaged 767 primary students and 49 teachers throughout the reporting period, as part of our contributions to school education programs.

## Learning

“The program was an inspiring and engaging experience for students and teachers. The performance beautifully combined storytelling, and interactive elements to reinforce the power of resilience, perseverance, and positive thinking.”

Grade 6 Teacher at Claymore Public School

In FY25 Landcom continued our partnership with National Theatre for Children (NTC), focused on building mental resilience in primary school aged children.

Landcom and NTC delivered the mental health & wellbeing education program to Year K-6 students, teachers and families via year-round educational interventions featuring live theatre performances, animated videos, hands-on classroom games, and whole school take-home resources.

The program ‘Project Mindset’ was delivered in three primary schools in the suburbs of Claymore and Airds where our Hillcroft and Newbrook communities are located.

The year-round educational interventions help students foster a positive mindset, build resilience, and better cope with stress, while guiding them towards long-term positive mental health outcomes.

The educational engagements and materials are aligned with the program’s main educational points:

- What is a Growth Mindset
- Ways to manage Stress
- How Physical Health supports Mental Health
- How To Build Resilience.

This reporting period Landcom also initiated a new partner program with The Man Cave aimed at achieving positive masculinity in boys aged 12-16 years of age. The Man Cave run transformative workshops focusing on mental health, emotional intelligence and healthy masculinity.

Initial workshops were delivered in two schools in Claymore and Airds in June 2025, with the program planned to have further workshops in FY26 and FY27.



Project Mindset’ school performance by the National Theatre for Children.



# Innovation Performance Results

## FY25 Innovation Performance Results

Focus Area	Objective	Target	FY24 performance	FY25 performance
Innovation	Research Investment	Measure and report annual investment in research and development	\$70,000 cash \$13,429 in-kind	\$69,000 cash \$7,000 in-kind
	Emerging Technologies	100% of new dwellings are EV-ready	No projects in scope	100% of new dwellings are EV-ready

### Research Investment

In FY25, Landcom partnered with the Clean Energy Finance Corporation, Development WA and the Green Building Council of Australia in a research piece evaluating the scale of upfront carbon in class 1a buildings across Australia (eg. Landcom’s Scope 3 Upstream GHG Emissions). Published in May 2025, the new report calls for national upfront carbon standards, modular innovation, and smart policy to prevent the construction of new homes from derailing climate targets.

The research reveals the scale of upfront carbon emissions in Australia’s buildings; accounting for around 7% of Australia’s total emissions; around 185 tonnes of upfront carbon for a typical detached home (constructed and furnished). See Case Study: Our Homes Weigh a Tonne - of Carbon Per Square Metre for more information on the outcomes of the research.

By contrast, operational emissions for the same home sit at just 24 tonnes over 60 years when powered by Australia’s increasingly decarbonised electricity grid - less than one seventh of the upfront emissions. If powered entirely by solar, the operational emissions drop to close to zero. The full report, [Our Homes Weigh a Tonne, is available here](#).

In addition to this research partnership, Landcom finalised a paid pitch process to understand whether it would be able to generate both carbon and biodiversity offsets on the same site. While there are a range of solutions currently in both the carbon and biodiversity space separately, a solution does not yet exist for stacking these two types of projects on the same site. Current carbon and biodiversity market reforms are likely to provide greater clarity and certainty over future solutions and Landcom will continue to regularly monitor these changes for future work.

Landcom also further progressed an industry research project with the University of Western Sydney to investigate restoration techniques for Cumberland Plain Woodland ecosystems. The research would explore three different restoration options and test the viability and success of each to inform future restoration activities undertaken within the Cumberland Plain Conservation Plan areas. The multi-agency research team finalised the research proposal in FY25 and applied for an Australian Research Council Linkage Grant.

### Emerging Technologies

In FY25, Panorama at North Wilton was in-scope for 100% of new dwellings. 104 dwellings were delivered during the reporting period, with residential design guidelines and sustainability rebates driving uptake in EV-readiness.

Landcom also kicked off construction for Landcom’s Panorama Net Zero Demonstration Home in partnership with a volume home builder during FY25. Located at Panorama at North Wilton, this demonstration home will be an interactive experience open to all. The public is invited to visit and learn how to incorporate sustainable choices in their homes - whether they’re building a new home or upgrading their current home. Smart energy solutions featured include a 7kW EV charger, solar panels, a 10kW battery, smart metering system and energy-efficient appliances. The Demonstration Home is expected to be completed and open to the public during FY26.

1 A Class 1a building is defined by the NCC (National Construction Code) as a single dwelling being a detached house; or one of a group of attached dwellings being a townhouse, row house or the like.

**Q CASE STUDY**

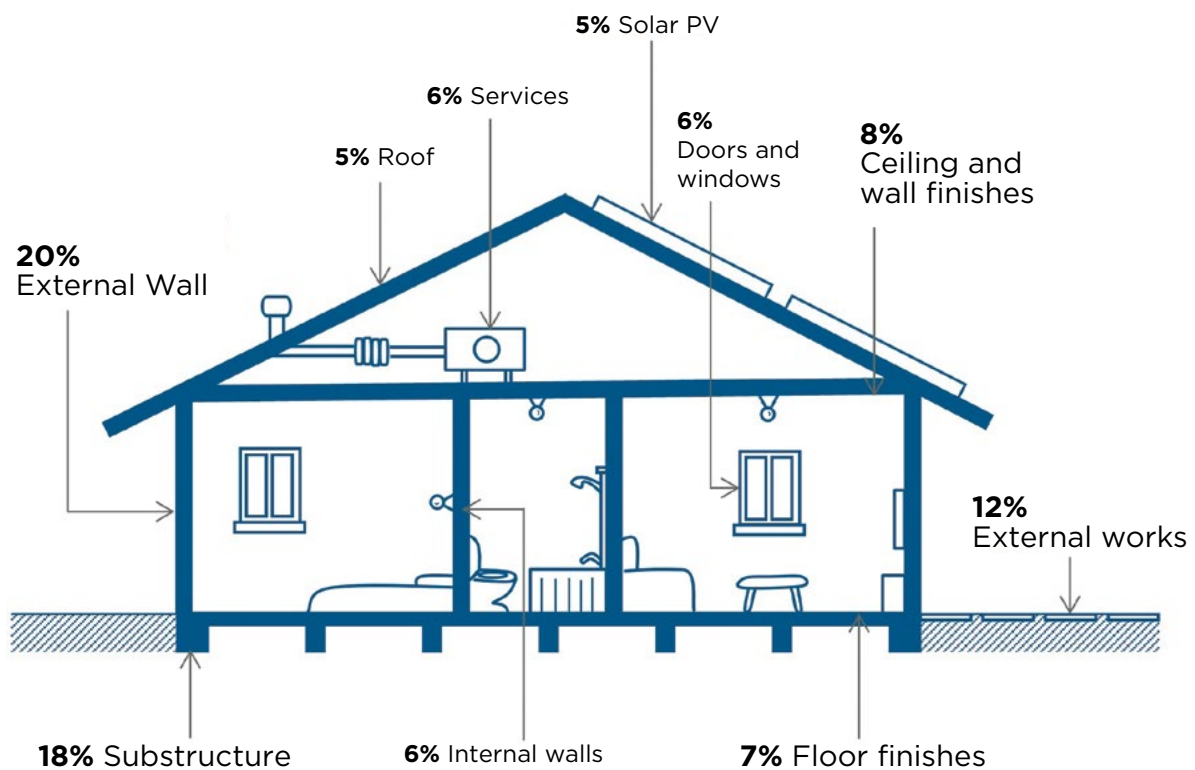
## Our homes weigh a tonne - of carbon per square metre

In FY25, Landcom partnered with the Clean Energy Finance Corporation, Development WA and the Green Building Council of Australia in a research piece evaluating the scale of upfront carbon in class 1a buildings across Australia - Landcom's Scope 3 Upstream GHG Emissions.

Ignoring upfront carbon of our homes threatens Australia's net zero target by 2050. Before a single appliance is switched on, the materials and construction of a typical Australian single family, detached house (Class 1a under the National Construction Code) already lock in more carbon than the home will ever emit through daily operation.

The upfront carbon from construction materials and activities are around a tonne of CO<sub>2</sub> equivalent (tCO<sub>2</sub>-e) per m<sup>2</sup> of conditioned floor area (CFA). This is equivalent to an average total upfront carbon of 185 tCO<sub>2</sub>-e. Meanwhile, as the grid decarbonises, the operational emissions of a house built today will be approximately 24 tCO<sub>2</sub>-e over its lifetime. Upfront carbon is over seven times more significant—and it's locked in at construction.

Find out more about the 'Our Homes Weigh a Tonne' research on the Green Building Council of Australia's website.



Upfront carbon by building element from the "Our homes weigh a tonne" GBCA research.





# Accountable & Collaborative Places

Landcom’s Accountable & Collaborative Places pillar is focused on delivering high value outcomes through robust governance and collaboration within our organisation and across our supply chains.

Landcom advocates for better ways to approach business and we seek to lead the industry in trust, transparency, governance and efficient outcomes.

Landcom addresses accountability and collaboration through the following focus areas:

- Accountability
- Human Rights.

Each of these focus areas includes a suite of priorities or actions to measure our success. While this pillar includes individual priorities for achievement, it also has a broad governance reach across Landcom’s entire Sustainable Places Strategy.

## Relevant Sustainable Development Goals





# Accountability

Landcom is committed to supporting international agreements, protocols and targets to ensure our planet and communities thrive into the future.

Urban development and the property sector make a material contribution to global emissions, the quality of life experienced by citizens and the resilience of our built and natural environments.

Under the *Landcom Corporation Act 2001* (NSW) we report annually on our sustainability performance. The Act also requires us to adopt sustainability performance indicators benchmarked against international best practice. Therefore, Landcom believes it is critical to align with, and report our contribution towards the following national and international frameworks:

Framework / Initiative	Landcom's Actions / Commitments
<b>Sustainable Development Goals (SDGs)</b>	Our Sustainable Places Strategy was directly informed by the <a href="#">Sustainable Development Goals (SDGs)</a> . We report our contribution to the SDGs annually.
<b>GRESB</b>	Landcom voluntarily participates in the GRESB Real Estate Assessment, which evaluates the environmental, social and governance performance of real assets. See GRESB ( <a href="#">p.34</a> ).
<b>Climate Active Carbon Neutral Certification</b>	Landcom has been certified 'carbon neutral' under the Climate Active Carbon Neutral Standard for the last 5 years. Landcom's CY2024 submission is in the queue to be assessed at the time of publication.
<b>TPG24-33 Reporting framework for climate-related financial disclosures (absorbing relevant Task Force on Climate-related Financial Disclosures (TCFD))</b>	Landcom discloses its approach to managing climate change risks in accordance with the TPG24-33 disclosure framework. See our full disclosures within our <a href="#">Annual Report - Appendix 2 - Climate-related financial disclosures</a> .
<b>Task Force on Nature-related Financial Disclosures (TNFD)</b>	Voluntarily adopts TNFD recommendations. Plans public disclosure in FY26.
<b>Human Rights</b>	Landcom operates entirely within NSW, and as such benefits from the high standards of governance and legislation Australia adopts regarding human rights. We are a Participant to the United Nations Global Compact (UNGC) and support the ten principles on human rights, labour, environment, and anti-corruption. Landcom also has a public Human Rights Statement. See <a href="#">Human Rights (p.48)</a> .
<b>Modern Slavery Acts (Cth 2018 &amp; NSW 2018)</b>	Landcom is a reporting entity under <i>Modern Slavery Act 2018</i> (Cth), please see our Board approved <a href="#">FY25 Modern Slavery Statement</a> on our website and disclosures under <i>Modern Slavery Act 2018</i> (NSW) are presented in our <a href="#">Annual Report on p.72</a> .



# Accountability & Performance Results

## Sustainable Development Goals

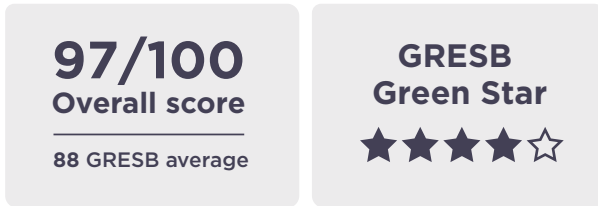
Landcom reports our alignment and contribution to achieving the Sustainable Development Goals (SDGs).

Landcom’s Sustainable Places Strategy is aligned to all of the SDGs. Each year we will continue to track our progress against meeting the SDGs and their respective targets relevant to Landcom and our operations.



## Global Real Estate Sustainability Benchmark (GRESB)

In FY25 Landcom participated in the GRESB Real Estate Assessment. This was our 9<sup>th</sup> year participating in GRESB, and this year Landcom achieved an overall score of 97/100, exceeded the GRESB average performance result and improved on the FY24 result by 2 points.



## Taskforce on Climate Related Financial Disclosures (TCFD) and TPG24-33 Reporting to Treasury

Since 2021, Landcom has voluntarily reported against the Taskforce on Climate-related Financial Disclosures (TCFD) guidelines. This has helped us better understand and prepare for the financial impacts of climate change. In FY25, our reporting aligns with the NSW Government’s new requirement for agencies to report under Treasury Policy TPG24-33, which is based on the TCFD framework. Landcom, as a state-owned corporation, is among the first entities—alongside universities—required to report under these guidelines in FY25.

Strong governance processes are built into every part of the organisation—from the due diligence we carry out when acquiring land, through to the planning and delivery of our projects. We take a whole-of-business approach to assessing and responding to climate risks and opportunities.

Responsibility for climate-related risks sits within Landcom’s broader governance framework. Our Board oversees climate and nature-related risks, opportunities,

targets and initiatives. This includes approving climate targets, monitoring progress, and ensuring sound risk management practices are in place. The Board is supported by two formal committees: the Audit and Risk Management Committee and the Investment Committee. The Audit and Risk Management Committee, along with the Executive Committee, reviews climate-related matters and escalates them to the Board when needed. The Investment Committee considers climate risks as part of its due diligence when assessing potential land acquisitions.

To assess physical climate risks, we use three strategic 20-year timeframes based on CSIRO Climate Projections, supported by NARClIm 2.0 data. These timeframes are aligned with the best available climate science and Net Zero targets, rather than our internal planning cycles. This long-term approach ensures climate risks and opportunities are considered at key decision points throughout the lifecycle of our assets.

For full details of our response to Treasury TPG24-33 and TCFD reporting requirements, see our full disclosures within our [Annual Report - Appendix 2 - Climate-related financial disclosures](#), and on our website.



# Human Rights Performance

## Modern Slavery

As a NSW state-owned corporation we have dual reporting obligations under both the *Modern Slavery Act 2018* (Cth) (the Act) and the *Modern Slavery Act 2018* (NSW). *The Modern Slavery Act 2018* (Cth) (the Act) requires entities with an annual revenue of \$100 million or more, based or operating in Australia, to prepare annual statements on potential modern slavery risks in their operations and supply chains and disclose the steps taken to address those risks.

In FY25, we continued to educate our staff and improve our policies and procedures by engaging with people with lived experience - via The Freedom Hub's Survivor Advisory Board.

We also continued to review and understand key risks in our supply chain through a combination of:

- supplier responses through modern slavery assessments
- knowledge-sharing through active membership of the Property Council of Australia (PCA) Human Rights and Modern Slavery Working Group
- consultation with industry experts.

FY25 was the second year that we assessed our procurement spend for inherent modern slavery risks using the Inherent Risk Identification Tool (IRIT) from the Office of the NSW Anti-Slavery Commissioner. From our FY25 assessment, we identified that 90% of Landcom suppliers fall into the minor inherent risk category. However, the highest inherent risk categories of construction materials, facilities and building management, and civil construction also correlate to the highest spend for Landcom in FY25.

This process allowed us to identify the suppliers that represent the highest inherent risk and engage in targeted engagement with these suppliers to better understand their modern slavery management approaches and actions to identify residual risk. This will form the basis for making targeted improvements in supplier mapping and engagement in FY26.

Lastly, we developed a three-year modern slavery roadmap to support the delivery of an informed, fit-for-purpose and effective modern slavery program. Informed by stakeholder feedback, maturity analyses and best practice research, the roadmap aims to mature our approach to ultimately improve people's lives by:

- embedding due diligence
- reflecting best practice (including the integration of people with lived experience of slavery)
- supporting Landcom's strategic intent
- building capability and accountability internally.

The roadmap includes short, medium and long-term actions across a three-year period and is structured across four focus areas of:

- Governance,
- Supply chain and due diligence,
- Grievance and remediation and
- Collaboration

For full detail on Landcom's disclosures on the mandatory reporting criteria for the *Modern Slavery Act 2018* (Cth), please see our [FY25 Modern Slavery Statement](#) on our website and disclosures under *Modern Slavery Act 2018* (NSW) are presented in our [Annual Report on p.72](#).

## Respecting First Nations

Landcom continued our commitment to fostering respectful and meaningful relationships with Traditional Owners and Aboriginal and Torres Strait Islander communities in our sphere of operation, by launching our Innovate RAP in December 2024.

The Innovate RAP, which was developed by our Reconciliation Action Plan Collaborative, in collaboration with Aboriginal owned consultancy, Ngura Advisory and Reconciliation Australia, outlines the meaningful actions that Landcom is taking to support the national reconciliation movement.

The launch of our Innovate RAP was attended by Aunty Julie Jones, who delivered a Welcome to Country and our Innovate RAP artists, Luke Penrith and Nioka Marlowe.

The Innovate RAP builds on a foundation of work under our Reflect RAP, which was successfully closed out in December 2023. Landcom is deeply committed to implementing the commitments made within the Innovate RAP and has chosen key areas to focus our efforts, based on our sphere of influence as a land developer, including:

- continuing to develop meaningful reciprocal relationships with Aboriginal and Torres Strait Islander communities of New South Wales
- building our organisation's cultural knowledge and confidence through learning and engaging with Aboriginal and Torres Strait Islander communities
- ensuring that the principles of 'Connecting with Country' are understood and embedded throughout our business and projects.



Landcom's Innovate RAP artwork 'Connecting with Country' by Luke Penrith and Nioka Marlowe.

## Diversity & Inclusion

Landcom has continued to promote diversity and inclusion (D&I) across our business throughout FY25. Our D&I Policy outlines our commitment to providing a workplace culture that embraces equity, diversity and inclusion at all levels of our organisation enabling staff to thrive and do their best work.

Our D&I Action Plan focuses on the following key goals:

- foster a culture of fairness, respect and equal opportunities
- initially prioritising women, Aboriginal and Torres Strait Islanders, culturally and linguistically diverse people, people with disability, generational diversity and LGBTQIA+ communities
- reduce bias and embed diverse and inclusive practices into how we work.

As part of the Action Plan, Landcom has adopted a suite of D&I measures and metrics, benchmarked against several Australian datasets. Our FY25 results are presented in Landcom's [Annual Report on p.76](#).

## Workplace Health & Wellbeing

Landcom recognises that managing work, relationships, caring responsibilities, finances and other life needs can be challenging at times for us all. Landcom partners with LifeStreet – an Employee Assistance Program focused on wellbeing and an individual's life as a whole.

Accessible to all staff, LifeStreet offers the usual assistance services to employees and immediate family members, and has additional resources and tools for staff to use in their lives beyond the work environment.

Users can access their own digitally-based LifeStreet profile via a secure login, and use self-assessment tools to help direct them to the appropriate resources on the platform.

Landcom also support the health and wellbeing of staff by offering a year-round program of events and activities such as:

- free Pilates & Yoga classes
- a cancer coaching program aimed at supporting survivors and carers of people with cancer
- various webinars such as a Thrive Masterclass – to help beat burnout in the workplace.

## CASE STUDY

## Designing with Country: Embedding cultural knowledge at Block 24, Edmondson Park

Block 24 is our future-focused affordable housing project within the Edmondson Park precinct which was lodged with the Department of Planning, Housing and Infrastructure (DPHI) in April 2025. In partnership with [WSP Indigenous Specialist Services](#) and Darug Knowledge Holder Uncle Shane Smithers, a set of Aboriginal design principles was co-developed to help shape the site and guide a respectful, culturally led design approach.

### Listening deeply, designing with Country

From the outset the project team participated in “design yarns” with Uncle Shane - creating space for deep listening and two-way learning. In one session, he invited the team to lie on the ground and imagine roots extending into the soil with a tree rising through their breath. This grounding practice shifted the team’s mindset away from fast-paced delivery and toward connection, presence and cultural awareness.

Uncle Shane shared, “Connection to Country is about mindfulness...Slowing down is key. You must lose track of time.”

### Cultural restoration through design

Inspired by Uncle Shane’s teachings, the design for Block 24 weaves cultural meaning through every layer - from a broken brick bond and black mortar that evoke the rugged textures of Iron Bark Country to Darug cross-hatching and organic curves that soften rigid geometry. A proposed creekline corridor will honour freshwater systems and stories of survival, while yarning circles, signage in Darug language and native planting palettes rich with yam daisies and Iron Bark - species once central to Darug life - will restore connections between people, place and ecology.

### Strengthening cultural capability

The Aboriginal design principles developed for Edmondson Park model a culturally safe co-design process, endorsed by Knowledge Holders and aligned with our [Innovate Reconciliation Action Plan \(RAP\)](#). Through these frameworks, project teams are gaining meaningful insights and learnings into what it means to design with, not just on-Country. Just as significantly, they’re building valuable new skills and relationships that will shape our work and ensure more positive outcomes and experiences for First Nations Australians for years to come.



Landcom staff taking part in a grounding practice



Staff taking part in “design yarns” with Darug Knowledge Holder Uncle Shane Smithers



# Appendix A Assurance statement



## Independent Limited Assurance Report

ERM CVS Australia Pty Ltd ("ERM CVS") was engaged by Landcom to provide limited assurance under ASAE3000 and moderate level assurance under AA1000AS v3 in relation to the Selected Information set out below and presented in Landcom's FY25 Reporting (comprising of the Sustainability Report, Other Information in the Annual Report, and Modern Slavery Statement) (further the "Report").

### ENGAGEMENT SUMMARY

**Scope of our assurance engagement**

**Disclosures**

Whether the Report presents a complete and balanced presentation of Landcom's sustainability activities in the reporting year in accordance with the reporting criteria.

**Performance Indicators**

Whether the following selected information below for the FY25 ending 30 June 2025, are fairly presented in the Report, in all material respects, in accordance with the reporting criteria.

Our assurance engagement does not extend to information in respect of earlier periods or to any other information included in the Report.

**Selected Information**

**Disclosures**

- Sustainability Report
  - Overview
  - Climate Resilient Places
  - Healthy & Inclusive Places
  - Productive Places
  - Accountable & Collaborative Places
  - Appendix B – Reporting Boundary and Management Approach for this Report
  - Appendix C – GRI Content Index

- Other Information in the Annual Report<sup>1</sup>

- Modern Slavery Statement

**Performance Indicators:**

- Scope 1 GHG Emissions (tCO2e)
- Scope 2 GHG Emissions - market-based approach (tCO2e)
- Scope 2 GHG Emissions - location-based approach (tCO2e)

**Reporting period** 01 Julv 2024 – 30 June 2025



## ENGAGEMENT SUMMARY (CONTINUED)

**Reporting period** 01 July 2024 – 30 June 2025

- Reporting criteria**
- Landcom’s internal basis of preparation<sup>2</sup>
  - The Global Reporting Initiative’s Sustainability Reporting Standards (GRI Standards)
  - New South Wales Government Sector Finance Act 2018 (GST Act) - Report on Operations – Disclosure Requirements
    - TPG24-33 Reporting framework for climate-related financial disclosures
  - The Australian Modern Slavery Act 2018 (Cth) and Modern Slavery Act 2018 (NSW) Reporting Requirements
  - The AA1000 AccountAbility Principles of Inclusivity, Materiality, Responsiveness and Impact

**Assurance standard and level of assurance** We have performed a ‘moderate’ level of assurance procedures under AA1000ASv3, the AA1000 AccountAbility Principles of Inclusivity, Materiality, Responsiveness and Impact with respect to the qualitative report content.

For the performance information and indicators, we performed a limited assurance engagement, in accordance with the International Standard on Assurance Engagements ISAE 3000 (Revised) ‘Assurance Engagements other than Audits or Reviews of Historical Financial Information’.

The procedures performed in a limited assurance engagement vary in nature and timing from and are less in extent than for a reasonable assurance engagement and consequently, the level of assurance obtained in a limited assurance engagement is substantially lower than the assurance that would have been obtained had a reasonable assurance engagement been performed.

**Respective responsibilities** Landcom is responsible for preparing the Report and for the collection and presentation of the information within it, and for the designing, implementing and maintaining of internal controls relevant to the preparation and presentation of the Report.

ERM CVS’ responsibility is to provide a conclusion to Landcom on the agreed assurance scope based on our engagement terms with Landcom, the assurance activities performed and exercising our professional judgement.

We do not accept any responsibility for any reliance on this assurance report to any person(s) or organisation(s) other than the Board and management of Landcom. Other stakeholders should do their own due diligence before taking any action as a result of this statement.

<sup>1</sup> Subject to a parallel assurance process described in our Independent Limited Assurance Report contained in Landcom’s FY25 Annual Report

<sup>2</sup> Including Landcom’s principles objectives and function under the *Landcom Corporation Act 2001* and with the reference to operations disclosure requirements under section 24A of the *State Owned Corporations Act 1989* and the *Annual Reports (Statutory Bodies) Act 1984*.



## OUR CONCLUSION

Based on our activities, as described below, nothing has come to our attention to indicate that the Selected Information for FY25 is not fairly presented in the Report, in all material respects, in accordance with the reporting criteria.

Based on our activities, as described below, nothing has come to our attention to indicate that Landcom has not adhered to the AA1000 AccountAbility Principles of Inclusivity, Materiality, Responsiveness and Impact when reporting its sustainability performance.

## OUR ASSURANCE ACTIVITIES

Considering the level of assurance and our assessment of the risk of material misstatement of the Report a multi-disciplinary team of sustainability and assurance specialists performed a range of procedures that included, but was not restricted to, the following:

- Evaluating the appropriateness of the reporting criteria for the Report;
- Interviewed functional managers and performed a desktop review of Landcom's policies, including the Strategic Directions, Sustainable Places Strategy, and other key internal documents, as well as web-based information, to understand Landcom's material topics, how they are managed, and what progress was made during the reporting period; and the processes in place for adherence to the AA1000 AccountAbility Principles;
- Reviewed the coverage of material topics within the Report against the key topics raised in media reports, peer reports, management interviews, and key internal documents;
- Interviewing management representatives responsible for managing the Selected Information;
- Interviewing data owners of selected data sets to understand how they collected, calculated and aggregated data from projects as well as what assumptions or estimations were made;
- Reviewing supporting information or explanations for selected data, statements and claims within the Report regarding Landcom's operational and sustainability performance;
- Checked whether operational and sustainability data in the Report had been calculated and aggregated accurately, was consistent with Landcom's internal records, and according to management's explanations and disclosures;
- Reviewing the presentation of information relevant to the assurance scope in the Report to ensure consistency with our assurance findings and observations.

## THE LIMITATIONS OF OUR ENGAGEMENT

The reliability of the Selected Information is subject to inherent uncertainties, given the available methods for determining, calculating or estimating the underlying information. It is important to understand our assurance conclusions in this context. We did not undertake source data verification at any operated facilities.

## OUR INDEPENDENCE, INTEGRITY AND QUALITY CONTROL

ERM CVS is an independent certification and verification body accredited by UKAS to ISO 17021:2015. Accordingly, we maintain a comprehensive system of quality control, including documented policies and procedures regarding compliance with ethical requirements, professional standards, and applicable legal and regulatory requirements. Our quality management system is at least as demanding as the relevant sections of ASQM-1 and ASQM-2 (2022).

ERM CVS applies a Code of Conduct and related policies to ensure that its employees maintain integrity, objectivity, professional competence and high ethical standards in their work. Our processes are designed and implemented to ensure that the work we undertake is objective, impartial and free from bias and conflict of interest. Our certified management system covers independence and ethical requirements that are at least as demanding as the relevant sections of the IESBA Code relating to assurance engagements.

ERM CVS has extensive experience in conducting assurance on environmental, social, ethical and health and safety information, systems and processes, and provides no consultancy related services to Landcom in any respect.



## OUR DETAILED CONCLUSIONS AND OBSERVATIONS

Our detailed observations and areas for improvement will be raised in a report to Landcom management.

### Completeness and Accuracy of the Performance Information:

We have reviewed information or explanations for selected data and statements on Landcom’s operational and sustainability activities presented in the Report and we are not aware of any misstatements in the assertions made.

### Evaluating Adherence to AA1000 Accountability Principles:

Our detailed conclusions regarding Landcom’s adherence to the AA1000 Accountability Principles and selected observations are provided below, and do not affect our conclusions on the Report set out earlier in this statement.

AA1000 AccountAbility Principles	Conclusions and Observations
<p><b>Inclusivity</b></p> <p>Has Landcom included stakeholders, allowing people to have a say in decisions that impact them?</p>	<p><b>We are not aware of any key stakeholder groups which have been excluded from engagement nor any matters that would lead us to conclude that Landcom has not applied the inclusivity principle in managing its approach to sustainability.</b></p> <p>Landcom continues to understand and value the benefits of engaging with its stakeholders, with both its Strategic Directions and Sustainable Places Strategy reflecting stakeholder engagement-related performance objectives. Landcom’s Engagement Charter – the “Join In” framework for engaging stakeholders – guides its approach to stakeholder engagement with all projects required to conform to it.</p> <p>Landcom engages early and with a diverse range of stakeholder prior to development. Evidence of community and stakeholder consultations were observed across all of Landcom’s active projects with senior decision-makers highlighting the value of broad and extensive engagement with key stakeholders.</p> <p>As Landcom steps up its property development activities and expands its projects from Build-to-Sell into Build-to-Rent housing with a special focus on affordable and social housing, there is increased opportunity to engage with a larger, more diverse group of stakeholders.</p>
<p><b>Materiality</b></p> <p>Has Landcom identified and been clear about the sustainability topics that matter?</p>	<p><b>We are not aware of any material topics in our review which have been excluded from the Report, and nothing has come to our attention that causes us to believe that the principle of materiality has not been applied when identifying topics.</b></p> <p>Landcom conducted a materiality assessment in early 2023 identifying 11 material matters (topics) using the AA1000 Accountability Principle of Materiality together with the GRI Materiality Standard. Landcom’s material sustainability matters are proactively managed through its governance mechanisms. Material matters are reported on and disclosed against within its annual Sustainability Reporting suite using the GRI Topic standards.</p> <p>The Executive recognise how their material sustainability priorities intersect and interrelate and include these considerations when shaping organisational priorities and decision-making. For example, Landcom are realising the value of a high level of understanding of potential economic, societal and environmental impacts, risks and opportunities during the land acquisition process and when planning future developments.</p> <p>As the organisation evolves from a traditional land developer into an integrated land and property provider it is recommended that Landcom refreshes its materiality assessment in FY26 to reflect the associated changes in its activities.</p>

<p><b>Responsiveness</b></p> <p>Has Landcom acted transparently on material sustainability topics and their related impacts?</p>	<p><b>We are not aware of any key actions or initiatives responding to material topics which have been excluded from the Report nor any matters that would lead us to conclude that Landcom has not applied the responsiveness principle in its approaches.</b></p> <p>This reporting period is the second under Landcom’s FY24-27 Strategic Plan: making a bigger difference. The plan reflects Landcom’s central role as part of the NSW Government’s action to increase housing supply and deliver more affordable rental housing for regional NSW. The Sustainable Places Strategy remains in place and continues to demonstrate a comprehensive response to stakeholder perspectives and material matters.</p> <p>Landcom outlines their purpose, objectives and commitments within their Housing Policy, and public disclose and report on their key housing targets. Landcom’s Executives were able to articulate how their strategic responses delivered sustainability outcomes and other benefits for NSW stakeholders.</p> <p>Landcom cross-collaborates with its stakeholder to address its material sustainability priorities and demonstrates awareness of the need to respond effectively to community stakeholders in relation to actual and potential impacts.</p>
<p><b>Impact</b></p> <p>Has Landcom motivated, measured, and held itself to account for how its actions affect broader ecosystems and society?</p>	<p><b>We are not aware of any key impacts that Landcom has not sought to monitor, measure, and nothing has come to our attention that causes us to conclude that Landcom management has not sought to be accountable for its impacts in the Report.</b></p> <p>Landcom has established processes to measure, evaluate and manage its impacts related to material matters and its Sustainable Places Strategy. The organisation has established targets and indicators that are used to track the effectiveness of actions to address material matters and evaluate progress against their Sustainable Places Strategy over time. Landcom is strengthening its internal measurement and management reporting to track non-financial performance including health and safety, people and the environment.</p> <p>The Sustainability Report describes the actions they have taken to manage actual and potential positive impacts as well as prevent or mitigate potential negative impacts. Landcom has continued its commitment to accountability by expanding its sustainability reporting suite and in FY25 are disclosing under the TPG24-33 reporting framework for climate-related financial disclosures for the first time.</p>

### Review of Sustainability-specific Reporting Regimes:

We have reviewed Landcom’s:

- Reported alignment with the GRI Standards, and we are not aware of any misstatements in the assertions made.
- Climate-related financial disclosures in line with TPG24-33, and we are not aware of any non-adherence to its mandatory requirements and recommendations.
- Statement in line with the Modern Slavery Acts (Cth 2018 & NSW 2018), and we are not aware of any non-adherence to the Reporting Requirement.



17 October 2025

Sydney, Australia

ERM CVS Australia Pty Ltd

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# Appendix B Reporting Boundaries and Management Approach for this report

## Sustainable Places Strategy

Following extensive community and industry consultation, our Sustainable Places Strategy was endorsed by the Landcom Board in November 2017 and took full effect in FY18. A key commitment of the Strategy is to progressively enhance our performance targets. These enhanced targets were agreed in FY23 and are integrated into new projects.

A rolling review of our Sustainability Strategy and targets will take place in FY26 to ensure we continue to align our sustainability goals with the enhanced delivery of diverse housing for NSW.

## Reporting Boundaries

The Sustainable Places Strategy applies to all new master plan activity and projects during the FY25 reporting period. As a master developer, Landcom uses various delivery structures:

Delivery Model	
<b>Owner/Master Developer</b>	Landcom owns the land, manages master planning, approvals, and development works. Land is sold as vacant lots (residential, commercial, industrial).
<b>Project Delivery Agreement (PDA)</b>	Landcom owns the land and tenders for a partner to manage and undertake development works. The partner acts as a head contractor' and is paid upon sale of individual lots.
<b>Reverse Project Delivery Agreement (RPDA)</b>	Landcom does not own the land but develops it on behalf of another government agency or private land owner. Planning, construction, and/or sales are undertaken by Landcom. Revenue from sales goes to the landowner; Landcom invoices for costs and fees.

Due to these varied structures, Landcom’s influence over project outcomes differs. For example, our ability to implement Climate Resilient Places targets is greater when acting as Owner/Master Developer than under a Reverse Project Delivery Agreement, where environmental commitments require negotiation with partners.

For a full list of Landcom’s active projects see our website [here](#).

## Material matters

We identify and disclose material aspects of our operations in accordance with the GRI Standards, using:

- GRI’s Global Sustainability Standards Board standard
- AA1000 Accountability Principles Standard (2018)
- GRI’s four-stage materiality and boundary guidance
- AA1000 quality assessment adherence criteria
- Our material issues and Strategy targets are also mapped to the SDGs.

## Sustainable Buildings and Environmental Performance

- **Green Star** (Green Building Council of Australia) is our preferred independent rating tool for precincts and the built form. Providing rigorous independent reviews and assessments of our environmental and social performance for projects.
- **The National Australian Built Environment Rating System (NABERS)** is adopted to validate operational sustainability of eligible non-residential buildings. Data is collected once buildings are operational to measure energy and water efficiency.
- **Building Sustainability Index (BASIX)** has historically been used to measure energy and water efficiency in homes. Landcom has long set above-compliance BASIX targets. However, following the October 2023 revision to BASIX, which significantly increased energy efficiency requirements, Landcom no longer sets targets above compliance.
- **MUSIC** stormwater modelling software is used across projects to measure pollutant loads and comply with stormwater management requirements.



# Management Approach



## Climate Resilient Places

Site-specific climate risk assessments are completed for all new projects and potential site acquisitions and reported to management, with adaptation plans developed as needed.

All our new in-scope projects since the launch of the Sustainable Places Strategy, and all relevant legacy projects, now have undertaken climate resilience assessments aligned to the United Nations International Panel on Climate Change (IPCC) Fifth Assessment Report (AR5). Our climate risk assessments consider two scenarios: Representative Concentration Pathways 4.5 and 8.5.

All FY25 climate assessments have been conducted using the New South Wales and Australian Regional Climate Modelling (NARClIM) climate projections.

Our Climate Risk Management Plan governs both physical and transition risks, incorporating financial, reputational, and market risk modelling. Climate risk is embedded in Landcom's Risk Appetite Statement, including nature-related risk.

The Executive Team and Audit & Risk Management Committee are updated biannually, or more frequently if needed, on climate risk management.

Risks assessed:

- Bushfire, drought, extreme heat, rainfall, storms, sea level rise
- Emergency access/egress, health and safety
- Transition risks such as insurance and mortgage implications

## Biodiversity and Legislative Compliance

Landcom projects are governed by nature and biodiversity management legislation.

Biodiversity Legislation

- Commonwealth Environmental Protection and Biodiversity Conservation Act 1999 (EPBC)
- NSW Biodiversity Conservation Act (BC Act)

To meet biodiversity offset requirements, we use the NSW BioBanking Scheme, which ensures landowners commit to enhancing and protecting biodiversity values.

Beyond compliance, Landcom applies its proprietary Biodiversity Calculator to assess ecological quality and quantity at project sites, both before and after development. This tool evaluates a broader spectrum of biodiversity—not just high-value or legislatively protected areas—and determines whether a project results in a net positive or net negative impact. A net positive outcome can be achieved even with a reduction in physical area, provided the ecological quality is significantly improved.

The Biodiversity Calculator also supports our sustainability reporting by addressing key Global Reporting Initiative (GRI) biodiversity metrics, including:

- Consideration of International Union for Conservation of Nature (IUCN) Red List species - which identifies species which are facing risk of extinction globally
- Identification of high-value biodiversity areas
- Assessment of habitats protected or restored
- Evaluation of significant impacts from development activities

As Landcom advances its response to the Taskforce on Nature-related Financial Disclosures (TNFD), these metrics will play an increasingly important role in demonstrating progress toward positive biodiversity outcomes.



## Energy & Greenhouse Gas (GHG) Emissions

<b>Target</b>	<b>70% GHG emissions weighted portfolio reduction.</b>
<b>In Scope</b>	All previously reported projects, plus all new projects (with sufficient planning undertaken to undertake GHG emissions modelling.)
<b>Method</b>	<p>GHG emissions for in-scope projects are assessed as a reduction against a 2016 reference case and consider the operational emissions of the dwellings in the project assigned to each calendar year, including household energy and water use. Emissions reported are the predicted operational emissions of a masterplan at completion and are calculated against a baseline NSW metro average of 2016. The global warming potential account factors align with the National Greenhouse and Energy Reporting (NGER) Act.</p> <p>Emissions are assessed for select emissions from our planned or contracted product based on either our known product specification, or, where final product delivery is undertaken by others, based on the mandated performance characteristics in our design guides, site-specific Development Control Plans and uptake of financial incentives through residential sustainability rebates. Our assessment of performance is based on the total reduction of GHG emissions for all in scope projects.</p> <p>We account for exported renewable electricity from our developments as a negative balance for that project. GHG for electricity is calculated under the 'Constant' projection scenario developed by AEMO that uses the latest published emission factors for all future emissions.</p> <p>GHG emissions are accounted for as total emissions of carbon dioxide equivalence and aligned with the methodologies and factors provided in National Greenhouse Accounts Factors: 2024.</p> <p>All emissions are categorised as Scope 3 Downstream for Landcom. The below classifications are categorised from the perspective of our delivered products.</p> <p>Scope 1 emissions included the use of natural gas on site for heating hot water, cooking, and space heating, noting Landcom's all electric requirement for all new projects.</p> <p>Scope 2 emissions include the imported electricity demand (Gross electricity deducting on-site renewable energy generation). Any exported electricity from renewable is accounted for as a deduction. Scope 3 emissions from customer water and from electricity use. We use a combination of Gross and Net GHG emissions.</p> <p>The assessment and target do not include any accounting of carbon offsets, carbon sequestration, or renewable energy certificates.</p>
<b>Calculation</b>	70% reduction in projected operational GHG emissions for all in-scope dwellings against the 2016 reference case, weighted for the portfolio by number of dwellings forecast to be delivered by the project.
<b>Definitions</b>	<p>Weighted portfolio reduction: Project-specific emissions reductions are summed and apportioned to the overall portfolio reduction by the proportion of portfolio-wide dwellings delivered by that project.</p> <p>2016 Baseline: NSW metro average baseline operational emissions for CY2016 used as the reference case to measure our GHG emissions reductions from.</p> <p>Gross GHG refers to the total emissions from all imported electricity and gas.</p> <p>Net GHG deducts the equivalent emissions of the exported electricity where on-site renewable generation exists.</p>
<b>Target</b>	<b>10% upfront and embodied carbon weighted portfolio reduction</b>
<b>In Scope</b>	<p>Upfront carbon: New (Post-FY24) projects with committed detailed designs or delivery during the FY.</p> <p>Embodied carbon: New (Post-FY24) projects during the use-stage of Landcom developments (post-construction).</p>
<b>Method</b>	All in scope projects are to support climate mitigation and market transition through reduced GHG emissions in the upfront or embodied carbon of the project. A 10% reduction target is assessed on a like-for-like basis, using a reference Life Cycle Assessment model and comparing the proposed project emissions. The reference model follows guidance from the Green Buildings Council of Australia. Emissions are assessed across life-cycle stages A1-A5 as defined in EN15978.
<b>Calculation</b>	% of in-scope projects achieved.



<b>Target</b>	<b>20% forecast precinct energy demand is supplied by renewable energy, or a smart energy solution</b>
<b>In Scope</b>	All new (post-FY24) projects with sufficient planning undertaken to undertake GHG emissions modelling.
<b>Method</b>	<p>Forecast precinct energy demand supplied by renewable or smart energy solutions for in-scope projects are assessed as a reduction against a 2016 reference case and consider the operational emissions of the dwellings in the project assigned to each calendar year, including household energy and water use.</p> <p>Forecast precinct energy demand is modelled for the project commitments and design of a masterplan at completion and are calculated against a baseline NSW metro average of 2016.</p> <p>Energy demand and supply inputs are reflective of our delivered product based on either our known product specification, or, where final product delivery is undertaken by others, based on the mandated performance characteristics in our design guides, site-specific Development Control Plans and uptake of financial incentives through residential sustainability rebates.</p> <p>We account for exported renewable electricity from our developments as a negative balance for that project. Outputs assessed include hourly and monthly electricity demand and solar generation; covering both peak and average energy demand and supply generation forecasts.</p>
<b>Calculation</b>	The proportion of total annual electricity demand that is met by total annual on-site electricity supply (from solar) for each location.



## Healthy & Inclusive Places

### Health, Equity & Inclusion, Community Connection & Safety

Landcom conducts social needs assessments for new projects to identify existing amenities and gaps. This informs infrastructure and community development planning. Once residents move in, we gather ongoing feedback to measure quality of life, guided by updated performance targets partnering with Place Score’s National Liveability Census to gather this data. This is an independently managed national liveability census.

More information on Place Score Liveability Census can be found on their website.

### Housing Diversity & Affordability

Landcom’s Housing Policy sets targets for:

- **Affordable Housing:** Managed by Community Housing Providers or affordable for moderate-income buyers.
- **Diverse Housing:** Expands housing types and tenure options.
- **Universal Housing:** Meets Livable Housing Australia’s Silver Level Certification for accessibility and adaptability.

### Design Through Engagement

Landcom prioritises design excellence and stakeholder input. The **Design Review Panel (DRP)** advises on urban design and built form quality across projects and consists of five expert members, with key skills in urban design, architecture, landscape architecture and sustainable and resilient design.

Landcom updated the [Design Review Panel Charter in FY24](#). The Charter has been endorsed by Government Architect NSW. As part of our management approach all projects are required to present to the DRP as they progress through the masterplan and design stages.



## Productive Places

### Training & Employment

Landcom aims to enable 30,000 jobs by 2036, supporting NSW's broader employment targets. We contribute by creating mixed-use communities where people can live, work, and play.

To track progress, we use proxy employment ratios based on land use types, a method adopted by the NSW Government's Common Planning Assumptions Group (CPAG). These ratios were updated in FY24 and inform our job creation forecasts.

We also support local education and skills development by partnering with industry, training providers, and schools to deliver programs that address local employment needs and engage young people.

### Innovation

Landcom approaches innovation in property development by focusing on technologies that future-proof communities and support sustainable living. Current initiatives include installing EV rapid charge stations, exploring car sharing schemes, and designing all-electric precincts.

These efforts improve community resilience, reduce emissions, and lower transport-related living costs. They also align with our low-carbon transport strategy, which promotes walkable, cycling-friendly neighbourhoods and access to public transport. By enabling early adoption of clean technologies, Landcom is helping to build smarter, more equitable communities across NSW.

### Research

Landcom's research program is purposefully designed to support our objectives in four key areas:

- Housing – increasing the affordability, supply, and diversity of housing
- Partnerships – collaborating to unlock development opportunities and improve delivery
- Affordability – leading in sustainable development and planning practices
- Environmental – to help advance our efforts across ecological, water and waste and carbon reduction outcomes across our communities.

Our research efforts are grounded in practical application and long-term impact. They inform our planning, design, and delivery processes, ensuring that Landcom continues to lead with evidence-based innovation and environmental responsibility.



## Accountable and Collaborative Places

### Accountability

**Landcom is committed to global sustainability by aligning with key international frameworks and reporting standards. We recognise the urban development sector's impact on emissions, quality of life, and environmental resilience.**

See [p.33](#) for the full list of global and national frameworks Landcom adhere to.

### Human Rights

Landcom is committed to upholding human rights across our operations and value chain, guided by international frameworks including the UN Guiding Principles, the UN Global Compact and the *Modern Slavery Act 2018 (Cth)* and *Modern Slavery Act 2018 (NSW)*.

For full detail on Landcom's disclosures for the *Modern Slavery Act 2018 (Cth)* please see our [FY25 Modern Slavery Statement](#) on our website and disclosures under *Modern Slavery Act 2018 (NSW)* are presented in our [Annual Report on p.72](#).

We recognise the growing importance of human rights to our staff, stakeholders, suppliers, industry peers, and communities.

Focus areas for human rights: Promoting liveability, resilience, inclusion, and affordability

- Advancing workplace diversity through our Diversity & Inclusion Action Plan
- Respecting First Nations peoples via our Reflect Reconciliation Action Plan
- Addressing modern slavery in line with the Modern Slavery Act





# Appendix C

## GRI Content Index

**Statement of Use:** Landcom has reported the information cited in this GRI content index for the period 1 July 2024 to 1 June 2025 with reference to the GRI Standards.

Location or comment refers to Landcom's FY25 Sustainability Report, unless specified otherwise.

Underlined text indicates content available on our website.

GRI 2: General Disclosures 2021		Location or comment
2-1	Organisational details	<u>Appendix B: Reporting Boundaries and Management Approach for this report (p.44)</u> FY25 Annual Report, Our organisation (p.8)
2-2	Entities included in the organisation's sustainability reporting	<u>FY25 Annual Report, Notes to the financial statements, 1. Basis of Preparation, (p.89)</u>
2-3	Reporting period, frequency and contact point	<u>Appendix B: Reporting Boundaries and Management Approach for this report (p.44)</u> <u>Landcom website 'Contact us'</u>
2-4	Restatements of information	There are no restatements within this report.
2-5	External assurance	<u>Reporting Boundaries and Management Approach for this report (p.44)</u> <u>Appendix A: Assurance Statement (p.38)</u> FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)
2-6	Activities, value chain and other business relationships	<u>Accountable &amp; Collaborative Places Overview (p.32)</u> <u>Accountable &amp; Collaborative Places, Who we are &amp; what we do (p.32)</u> <u>Accountable &amp; Collaborative Places, Human Rights Performance (p.35)</u> <u>FY25 Modern Slavery Statement</u> In FY25, Landcom had no significant changes to the organisation size, structure, ownership or supply chain. FY25 Annual Report <ul style="list-style-type: none"> <li>• <u>Our Organisation, (p.8)</u></li> <li>• <u>Performance Against Statement of Corporate Intent, (p.38)</u></li> <li>• <u>Related parties and joint arrangements (p.121)</u></li> <li>• <u>Operations and performance, Our achievements (p.38)</u></li> </ul>
2-7	Employees	<u>FY25 Annual Report, Management &amp; Accountability (p.52)</u>
2-8	Workers who are not employees	Note as a State-Owned Corporation Landcom has Minister Shareholders, not cross-shareholding or controlling shareholders.
2-9	Governance structure and composition	<u>FY25 Annual Report, Overview, Management and structure (p.21)</u> <u>FY25 Annual Report, Our Board of Directors (p.22)</u>
2-10	Nomination and selection of the highest governance body	<u>FY25 Annual Report, Management and accountability, corporate governance (p.52)</u>
2-11	Chair of the highest governance body	<u>FY25 Corporate Governance Statement (p.5)</u> <u>Landcom's Board Charter</u> <u>Landcom website 'Governance'</u> Note as a State Owned Corporation Landcom has Minister Shareholders, not cross-shareholding or controlling shareholders.



GRI 2: General Disclosures 2021		Location or comment
2-12	Role of the highest governance body in overseeing the management of impacts	<p><a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a></p> <p><a href="#">FY25 Annual Report, Management &amp; Accountability (p.52)</a></p> <p><i>Landcom Corporations Act 2001 (NSW)</i>, consultation on sustainability targets is required as part of the <i>Landcom Corporations Act 2001 (NSW)</i>.</p>
2-13	Delegation of responsibility for managing impacts	<p><a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a></p> <p><a href="#">FY25 Annual Report, Management and Accountability (p.52)</a></p> <p><a href="#">FY25 Annual Report, Our Board of Directors (p.22)</a></p> <p><a href="#">FY25 Annual Report, Management and accountability, corporate governance (p.52)</a></p> <p>Landcom's Board is the highest governance body responsible for the overall governance, management and strategic direction of the organisation.</p> <p>Landcom's Audit &amp; Risk Management Committee is a delegation of the Board and specifically considers audit and risk management matters relevant to the business (e.g. climate risk). This Committee meets quarterly and is comprised of Board members and Executives.</p>
2-14	Role of the highest governance body in sustainability reporting	<p>Landcom's Board is the highest governance body responsible for reviewing and approving the Sustainability Report and Annual Report.</p> <p>Members of the Executive team are key stakeholders in the identification of Landcom's sustainability related material topics, and the Board is advised of the process undertaken, and subsequently the material matters adopted by the organisation.</p>
2-15	Conflicts of interest	<p><a href="#">Landcom's Board Charter</a></p> <p><a href="#">Landcom's Staff Code of Conduct</a></p> <p><a href="#">Landcom's Handling Conflicts of Interest Policy</a></p>
2-16	Communication of critical concerns	The Board is provided with risk updates on a monthly basis. During the reporting period there were no risks of critical concern.
2-17	Collective knowledge of the highest governance body	<p>The Board receives regular updates on sustainability matters, which includes training and upskilling. There is no set program to deliver training, rather the business responds to the Board's needs and interests as they arise.</p> <p><a href="#">FY25 Corporate Governance Statement (p.5)</a></p>
2-18	Evaluation of the performance of the highest governance body	<p><a href="#">FY25 Annual Report, Management and accountability, corporate governance (p.53)</a></p> <p><a href="#">Landcom's Board Charter, Performance evaluation</a></p>
2-19	Remuneration policies	<a href="#">Landcom Award 2022</a>
2-20	Process to determine remuneration	<a href="#">FY25 Annual Report, Management &amp; Accountability, Executive diversity and remuneration (p.57)</a>
2-21	Annual total compensation ratio	<p><a href="#">Landcom Financial Statements for the year ended 30 June 2025 (p.78)</a></p> <p><a href="#">Landcom Award 2022</a></p> <p>The majority of Landcom staff are employed in accordance with the Landcom Award 2022, which sets compensation for full time and part time employees. Landcom does not pay bonuses in any form.</p>



GRI 2: General Disclosures 2021		Location or comment
2-22	Statement on sustainable development strategy	<a href="#">Message from the CEO (p.2)</a> <a href="#">Where to next with the Sustainable Places Strategy (p.3)</a>
2-23	Policy commitments	All policies are endorsed by the Landcom Executive, for approval by the Board.
2-24	Embedding policy commitments	<a href="#">Landcom's full suite of policies, Statement of Corporate Intent, strategies, reports and governance details can be found on our website</a>
2-25	Processes to remediate negative impacts	<a href="#">Human Rights Performance (p.35)</a> <a href="#">FY25 Modern Slavery Statement</a> <a href="#">Human Rights Statement</a> <a href="#">Human Rights Remediation Guide</a> <a href="#">Speak Up Hotline</a> <a href="#">Landcom website 'Contact us'</a>
2-26	Mechanisms for seeking advice and raising concerns	<a href="#">Landcom's Staff Code of Conduct</a> <a href="#">Landcom's Supplier Code of Conduct</a>
2-27	Compliance with laws and regulations	There were no instances of non-compliance with laws and regulations that apply to Landcom.
2-28	Membership associations	Landcom's main industry memberships include Green Building Council of Australia, Property Council of Australia, Master Builders Association, Urban Taskforce Australia, Urban Development Institute of Australia, Corporate Club of Australia, and Committee for Economic Development of Australia.
2-29	Approach to stakeholder engagement	<a href="#">Design through Engagement (p.21)</a> <a href="#">Join In - Engagement Charter</a> <a href="#">Community Participation Plan</a>
2-30	Collective bargaining agreements	<a href="#">Landcom Award 2022</a> The majority of Landcom staff are employed in accordance with the Landcom Award 2022.



GRI 3: Material Topics 2021		Location or comment
3-1	Process to determine material topics	<a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a>
3-2	List of material topics	Landcom periodically reviews its material topics to ensure they remain aligned to industry best practice. Professional consultants are engaged to support Landcom through the GRI aligned process of identifying and applying material topics, and ensuring alignment of our sustainability targets and disclosures.
3-3	Management of material topics	
		Members of the Executive team are key stakeholders in the identification of Landcom's sustainability related material topics, and the Board is advised of the process undertaken, and subsequently the material matters adopted by the organisation.
		Other stakeholders involved include Landcom Board members, staff, industry peers, consultants, government bodies and approval entities.

N.B. Landcom's GRI Topic Standards remain current and do not require revision with the exception of GRI 412: Human Rights Assessment 2016 which has been withdrawn as its contents have been incorporated into the Universal Standards

GRI 101: Biodiversity 2024		Location or comment
101-1	Policies to halt and reverse biodiversity loss	<a href="#">Climate Resilient Places, Climate &amp; Resilience (p.8)</a>
101-2	Management of biodiversity impacts	<a href="#">Climate Resilient Places, Climate &amp; Resilience Performance Results, Biodiversity (p.9)</a>
101-4	Identification of biodiversity impacts	<a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a>
101-5	Locations with biodiversity impacts	
101-6	Direct drivers of biodiversity loss	
101-7	Changes to the state of biodiversity	

GRI 201: Economic Performance 2016		Location or comment
201-1	Direct economic value generated and distributed	<a href="#">FY25 Annual Report, Chair's review (p.4)</a> <a href="#">FY25 Annual Report, Landcom financial statements for the year ended 30 June 2025 (p.78)</a> Note: all operations are within Australia.
201-2	Financial implications and other risks and opportunities due to climate change	<a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a>
201-3	Defined benefit plan obligations and other retirement plans	<a href="#">FY25 Annual Report, Landcom financial statements for the year ended 30 June 2025 (p.78)</a> <a href="#">Notes to the Financial Statements, About this report, Summary of material accounting policies (p.89)</a>
201-4	Financial assistance received from government	N/A. Landcom is a State-Owned Corporation.



GRI 203: Indirect Economic Impacts 2016		Location or comment
203-1	Infrastructure investments and other services supported	<a href="#">Refer to GRI 2-6 (p.50)</a>
203-2	Significant indirect economic impacts	<a href="#">Productive Places Pillar Overview (p.26)</a> <a href="#">Productive Places, Training &amp; Employment Performance Results (p.27)</a>
GRI 204: Procurement Practices 2016		Location or comment
204-1	Proportion of spending on local suppliers	Landcom is a NSW State Owned Corporation, with all operations within NSW (local). Procurement of immediate goods and services is all local to Australia.
GRI 205: Anti-corruption 2016		Location or comment
205-1	Operations assessed for risks related to corruption	<a href="#">FY25 Annual Report, Management &amp; Accountability, Public access to Information and the Protection of Privacy (p.62)</a>
205-2	Communication and training about anti-corruption policies and procedures	
205-3	Confirmed incidents of corruption and actions taken	Nil.
GRI 301: Materials 2016		Location or comment
301-3	Reclaimed products and their packaging materials	N/A. Landcom's products are in the form of land and public infrastructure which is not supplied in physical packaging.
GRI 302: Energy 2016		Location or comment
302-1	Energy consumption within the organisation	<a href="#">Climate Resilient Places Pillar Overview (p.8)</a> <a href="#">Climate Resilient Places, Energy &amp; Emissions Performance Results (p.12)</a> <a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a> <a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a>
302-3	Energy intensity	<a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a> <a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a>
302-4	Reduction of energy consumption	<a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a> <a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a>



GRI 303: Water and Effluents 2018		Location or comment
303-1	Interactions with water as a shared resource	Landcom has an indirect relationship with water.
303-2	Management of water discharge-related impacts	<p>The greatest impact our developments will have is on the future use by those who live, work and do business in the community once we have delivered it. We do not directly withdraw, consume or discharge water. This is why our targets focus on designing communities that will have low consumption by users, with forecast runoff meeting low impact pollutant loads.</p> <p><a href="#">Climate Resilient Places Pillar Overview (p.8)</a></p> <p><a href="#">Climate Resilient Places, Water Performance Results (p.18)</a></p> <p><a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a></p>
303-3	Water withdrawal	N/A.
303-4	Water discharge	Landcom does not directly or materially withdraw or discharge water
303-5	Water consumption	
GRI 305: Emissions 2016		Location or comment
305-1	Direct (Scope 1) GHG emissions	Landcom's most material Scope 3 emissions will come from the communities we create, once operational. We seek to reduce the future operational GHG emissions of these communities through the adoption of emissions reduction targets.
305-2	Energy indirect (Scope 2) GHG emissions	<a href="#">Climate Resilient Places Pillar Overview (p.8)</a>
305-3	Other indirect (Scope 3) GHG emissions	<p><a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a></p> <p><a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a></p>
305-5	Reduction of GHG emissions	<p><a href="#">Climate Resilient Places Pillar Overview (p.8)</a></p> <p><a href="#">Climate Resilient Places, Energy &amp; Emissions Performance Results, Greenhouse Gas Emissions Reduction (p.8)</a></p> <p><a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a></p> <p><a href="#">FY25 Annual Report - Appendix 2 - Climate-related financial disclosures (p.130)</a></p>
305-6	Emissions of ozone-depleting substances	N/A.
305-7	NOx, SOx and other significant air emissions	Landcom does not emit any material ozone-depleting substances in our activities or products, or have any material air quality emissions. For details on how we are approaching air quality see <a href="#">Climate Resilient Places Pillar Overview (p.8)</a>



GRI 306: Effluents and Waste 2016		Location or comment
306-1	Water discharge by quality and destination	<a href="#">Climate Resilient Places, Water Performance Results (p.18)</a> <a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a>
306-2	Waste by type and disposal method	<a href="#">Climate Resilient Places Pillar Overview (p.8)</a> <a href="#">Climate Resilient Places, Waste &amp; Materials Performance Results (p.17)</a> <a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a>
306-3	Significant spills	There were no significant spills during the financial year. <a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a>
306-4	Transport of hazardous waste	<a href="#">Climate Resilient Places Pillar Overview (p.8)</a> <a href="#">Climate Resilient Places, Waste &amp; Materials Performance Results (p.17)</a> <a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a>
306-5	Water bodies affected by water discharges and/or runoff	<a href="#">Climate Resilient Places, Waste &amp; Materials Performance Results (p.17)</a> <a href="#">Reporting Boundaries and Management Approach for this report (p.44)</a>
GRI 308: Supplier Environmental Assessment 2016		Location or comment
308-1	New suppliers that were screened using environmental criteria	All service providers are required to comply with Landcom's Supplier Codes of Conduct that requires suppliers to meet high standards in relation to issues such as anti-corruption, environmental protection and social impacts.
308-2	Negative environmental impacts in the supply chain and actions taken	Landcom has supplier panels set up for our main activities. These panels are identified as having the potential to generate negative environmental impacts via works that may be undertaken.  As part of the panels' establishment, environmental and sustainability criteria were included for evaluation to help minimise impacts.  These suppliers are required to prepare an environmental management plan, and to undertake independent audits against their plans when they undertake work for Landcom.  During the reporting period we did not agree on any improvements with these suppliers or terminate any relationships as a result of assessments.
GRI 401: Employment 2016		Location or comment
401-1	New employee hires and employee turnover	<a href="#">Refer to GRI 2-7 and 2-8 (p.48)</a> <a href="#">FY25 Annual Report, Management and accountability, Employee turnover and new starter by gender and age group (p.59)</a>
401-2	Benefits provided to full-time employees that are not provided to temporary or part-time employees	<a href="#">Landcom Award 2022</a>
401-3	Parental leave	<a href="#">FY25 Annual Report, Management and accountability, Parental leave (p.60)</a>



GRI 403: Occupational Health and Safety 2018		Location or comment
403-1	Occupational health and safety management	<a href="#">FY25 Annual Report, Work health and safety (p.73)</a> <a href="#">FY25 Annual Report - Appendix 1 - Compliance Index (p.124)</a>
403-2	Hazard identification, risk assessment, and incident investigation	
403-3	Occupational health services	Landcom works with an integrated Health, Safety and Environment Framework aligned to international standards.
403-4	Worker participation, consultation, and communication on occupational health and safety	Landcom has agreed to consult with workers through a Work Health and Safety Consultative Committee.
403-5	Worker training on occupational health and safety	<a href="#">Landcom's Staff Code of Conduct</a> <a href="#">Landcom's Supplier Code of Conduct</a>
403-6	Promotion of worker health	<a href="#">Accountable &amp; Collaborative Places, Human Rights Performance (p.35), Workplace Health &amp; Wellbeing (p.36)</a>
403-7	Prevention and mitigation of occupational health and safety impacts directly linked to business relationships	<a href="#">Landcom's Staff Code of Conduct</a> <a href="#">Landcom's Supplier Code of Conduct</a>
403-8	Workers covered by an occupational health and safety management system	
403-9	Work-related injuries	<a href="#">FY25 Annual Report, Incident statistics (p.73)</a> - injury frequency rates recorded and prosecutions under the <i>Work Health and Safety Act 2011 (NSW)</i>
403-10	Work-related ill health	N/A. Work-related ill health is not material to Landcom operations.
GRI 404: Training and Education 2016		Location or comment
404-3	Percentage of employees receiving regular performance and career development reviews	100% of Landcom employees receive performance reviews and career development reviews annually.
GRI 405: Diversity and Equal Opportunity 2016		Location or comment
405-1	Diversity of governance bodies and employees	<a href="#">FY25 Annual Report, Management and accountability, corporate governance (p.52)</a> <a href="#">FY25 Annual Report, Management and accountability, The Landcom team: Three-year comparison (p.58)</a>
405-2	Ratio of basic salary and remuneration of women to men	<a href="#">New South Wales Public Service Commission - Gender Pay Gap</a>
GRI 406: Non-discrimination		Location or comment
406-1	Incidents of discrimination and corrective actions taken	Nil.



GRI 407: Freedom of Association and Collective Bargaining 2016		Location or comment
407-1	Operations and suppliers in which the right to freedom of association and collective bargaining may be at risk	<a href="#">Accountable &amp; Collaborative Places, Human Rights Performance (p.35)</a> <a href="#">FY25 Modern Slavery Statement</a> <a href="#">Landcom Award 2022</a>
GRI 408: Child Labour 2016		Location or comment
408-1	Operations and suppliers at significant risk of incidents of child labour	<a href="#">Accountable &amp; Collaborative Places, Human Rights Performance (p.35)</a> <a href="#">FY25 Modern Slavery Statement</a>
GRI 409: Forced and Compulsory Labour 2016		Location or comment
409-1	Operations and suppliers at significant risk of incidents of forced or compulsory labour	<a href="#">Accountable &amp; Collaborative Places, Human Rights Performance (p.35)</a> <a href="#">FY25 Modern Slavery Statement</a>
GRI 411: Rights of Indigenous Peoples 2016		Location or comment
411-1	Incidents of violations involving rights of indigenous peoples	Nil.
GRI 413: Local Communities 2016		Location or comment
413-1	Operations with local community engagement, impact assessments, and development programs	<a href="#">Healthy &amp; Inclusive Places Pillar Overview (p.20)</a> <a href="#">Healthy &amp; Inclusive Places, Health, Equity &amp; Inclusion, Community Connection &amp; Safety Performance Results (p.21)</a>
413-2	Operations with significant actual and potential negative impacts on local communities	<a href="#">Healthy &amp; Inclusive Places, Health, Equity &amp; Inclusion, Community Connection &amp; Safety Performance Results (p.21)</a>
GRI 414: Supplier Social Assessment 2016		Location or comment
414-1	New suppliers that were screened using social criteria	All service providers are required to comply with <a href="#">Codes of Conduct</a> that require suppliers to meet high standards in relation to issues such as anti-corruption, environmental protection and social impacts.
414-2	Negative social impacts in the supply chain and actions taken	
GRI 415: Public Policy 2016		Location or comment
415-1	Political contributions	As a government organisation Landcom is prohibited from making political contributions.
GRI 416: Customer Health and Safety 2016		Location or comment
416-1	Assessment of the health and safety impacts of product and service categories	<a href="#">Healthy &amp; Inclusive Places Pillar Overview (p.20)</a> <a href="#">Healthy &amp; Inclusive Places, Health, Equity &amp; Inclusion, Community Connection &amp; Safety Performance Results (p.21)</a>





Creating more affordable  
and sustainable communities

In the spirit of reconciliation, Landcom respectfully acknowledges the Traditional Custodians of Country throughout Australia and recognises and respects their continuing cultural heritage, beliefs and connection to land, sea and community. We pay our respects to their Elders past, present and emerging. Country across Australia always was and always will be traditional Aboriginal land.